



NOTICE OF A PUBLIC MEETING

AN AGENDA OF A REGULAR MEETING OF THE CITY COUNCIL

CITY OF WHITE SETTLEMENT, TEXAS

6:30 PM – August 1, 2023

City Hall – Council Chambers

214 Meadow Park Drive, White Settlement, TX 76108

CALL TO ORDER

INVOCATION / PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

The purpose of this item is to allow members of the public an opportunity to address the city council, board or commission on items that are not listed on the agenda, as well as any consent agenda, executive session, or workshop items. Any person desiring to make a comment must first fill out a speaker request form and be recognized by the presiding officer. Individual comments are limited to three minutes. The meeting body has no obligation to respond in any manner to comments or questions from the public. Any response from a member to comments on items not listed on the agenda is limited to a statement of specific factual information, a recitation of existing policy, or direction to staff to place the subject on the agenda for a future meeting.

PRESENTATIONS

1. City Manager Presentation of items of community interest.
2. Presentation of Fiscal Year 2023-2024 No New Revenue and Voter Approval Tax Rate.
3. Presentation of Fiscal Year 2023-2024 Proposed Operating Budgets.

CONSENT AGENDA

All items on the Consent Agenda are routine or previously discussed items and will be approved with one motion; however, should a member of the City Council wish to discuss any item, said item may be removed from the Consent Agenda and considered under the Deliberation Agenda.

4. Approval of meeting minutes:
 - a. July 6, 2023
 - b. July 27, 2023
5. Acknowledge receipt of and accept Fiscal Year 2023-2024 Proposed Operating Budget.
6. Acknowledge receipt of Quarterly Investment Report for period ending June 30, 2023.
7. Approval of Ordinance 2023-08-012-13 calling for a General Election to be held on November 7, 2023, to elect persons to the offices of Mayor and Council Member Place 1
8. Approval of a resolution to deny ONCOR Electric Delivery Company LLC's application to amend its Distribution Cost Recovery Factor and update Generation Riders to increase distribution rates within the city and other matters thereto.

PUBLIC HEARING

9. Hold a Public Hearing and consider amending the 2040 Comprehensive Plan for the property at MC DONNELL ADDITION Block 20 Lot 12A & A1 & ABST 262 TR 1A2, and Lot 12A1 & A1B, and Lot

A1D, more commonly known as 730 S Cherry Lane. White Settlement, Texas 76108, from Regional Commercial with a Mixed-Use Area to Low-Density Residential.

10. Hold a Public Hearing and consider an ordinance to rezone a 3.08-acre tract of land located in the McDonnell Addition Block 20, Lot 12A & A1 & ABST 262 TR 1A2, and Lot 12A1 & A1B, and Lot A1D, more commonly known as 730 S Cherry Lane, White Settlement, Texas, from C-C (Commercial Corridor) to P-D (Planned Development).
11. Hold a Public Hearing and consider a Community Facilities Agreement between The City of White Settlement and GRB Development LLC for certain improvements to MC DONNELL ADDITION Block 20 Lot 12A & A1 & ABST 262 TR 1A2, and Lot 12A1 & A1B, and Lot Lot A1D, more commonly known as 730 S Cherry Lane. White Settlement, Texas 76108.
12. Hold a Public Hearing and consider an ordinance adopting the Crime Control and Prevention District Fiscal Year 2023-2024 Budget.
13. Hold a Public Hearing and consider an ordinance adopting Economic Development Corporation (EDC) Fiscal Year 2023-2024 Budget.

DELIBERATION AGENDA

14. Discuss and consider calling a Public Hearing to be held August 29, 2023 at 6:30 p.m. for the Fiscal Year 2023-2024 Proposed Budget.
15. Discuss and consider calling a Public Hearing to be held August 29, 2023 at 6:30 p.m. for the Fiscal Year 2023-2024 Proposed Tax Rate.
16. Discuss and Consider a BuyBoard proposal from Digital Resources in the amount of \$252,812.59 for audio/visual equipment and installation at Pecan Grove Convention Center.

EXECUTIVE SESSION

17. Pursuant to the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the City Council may convene into Executive Session to deliberate regarding the following matters:
 - a. Sec. 551.071 Consultation with Attorney: The City Council reserves the right to adjourn into Executive Session at any time during the course of this meeting to seek legal advice from the city attorney about any matters listed on the agenda.

RECONVENE IN OPEN SESSION

18. Take action, if any, on items discussed in Executive Session, including the following:

ADJOURNMENT

Notice posted on the 28th of July, 2023, on the City Hall bulletin board at 214 Meadow Park Drive, White Settlement, Texas by 5:00 p.m.

Amy Arnold, TRMC, CMC
City Secretary

Accessibility Statement: The City of White Settlement City Hall is accessible to persons with disabilities. Specially marked parking spaces are available at both Meadow Park and Hanon Drive. Accessible entry is available at the main entrance, which is located on the north side of the building. If additional assistance is needed to observe or comment, please notify the City Secretary at 817-246-4971 x203 at least 24 hours prior to the meeting.



**MINUTES OF A PUBLIC MEETING
REGULAR MEETING OF THE CITY COUNCIL
CITY OF WHITE SETTLEMENT, TEXAS**

6:00 PM – July 6, 2023

City Hall – Council Chambers
214 Meadow Park Drive, White Settlement, TX 76108

CALL TO ORDER

Mayor ProTem Munoz called the meeting to order at 6:07 pm with a quorum of members present as follows:

CITY COUNCIL MEMBERS PRESENT

Amber Munoz, Mayor ProTem, Place 3
Paul Moore, Council Member Place 1
Alan Price, Council Member Place 2
William Wright, Council Member Place 4
Gregg Geesa, Council Member Place 5
Mayor Elect, Faron Young

EXECUTIVE STAFF PRESENT

Jeff James, City Manager
Amy Arnold, City Secretary
James Donovan, TOASE, City Attorney

DIRECTORS PRESENT

Larry Hoover, Public Works Director
Christopher Cook, Chief of Police, Public Safety Director
Rick Sanderson, Fire Chief
Krystal Crump, Finance Director
Rich Tharp, Community Services Director
Robert Nunley, Planning and Development Director

INVOCATION / PLEDGE OF ALLEGIANCE

Mayor ProTem Munoz gave the invocation and led the Pledge of Allegiance.

PUBLIC COMMENTS

John Giddens addressed the City Council in favor of building code upgrades.

DELIBERATION AGENDA

1. Discuss and consider appointments to the Economic Development Corporation Board of Directors, terms to expire June 2025:
 - a. Place 5, currently vacant
 - b. Place 7, current appointee has declined reappointment

Board Secretary, City Secretary Amy Arnold, informed members staff received three applications which were included in the packet for consideration. City Secretary Amy Arnold explained she informed applicants that appointments would be made today with an EDC meeting following, asking each to confirm attendance. Two candidates, Dena Martin and Marcie Delgado, were in attendance.

Council Member Geesa made a motion to appoint David Dill to place 5. Council Member Moore seconded the motion which carried unanimously. Council Member Wright made a motion to appoint Dena Martin to place 7. Council Member Geesa seconded the motion which carried unanimously.

City Secretary Amy Arnold asked if Mr. Dill was present to attend the EDC meeting following the current Council Meeting. City Secretary Amy Arnold informed council members their motion could be withdrawn and reconsidered, if so desired, to consider applicants present or remain with the EDC being short a member at their meeting. The motion remained.

ADJOURNMENT

With there being no further action, Mayor ProTem Munoz adjourned the meeting at 6:14 p.m.

Approved this 1st day of August, 2023.

Faron Young, Mayor

ATTEST:

Amy Arnold, TRMC, CMC

City Secretary



**MINUTES OF A PUBLIC MEETING
REGULAR MEETING OF THE CITY COUNCIL**

CITY OF WHITE SETTLEMENT, TEXAS

6:30PM – July 6, 2023

City Hall – Council Chambers

214 Meadow Park Drive, White Settlement, TX 76108

CALL TO ORDER

Mayor ProTem Munoz called the meeting to order at 6:30 p.m. with a quorum of members present as follows:

CITY COUNCIL MEMBERS PRESENT

Amber Munoz, Mayor ProTem, Place 3
Paul Moore, Council Member Place 1
Alan Price, Council Member Place 2
William Wright, Council Member Place 4
Gregg Geesa, Council Member Place 5
Faron Young, Mayor Elect

DIRECTORS PRESENT

Larry Hoover, Public Works Director
Christopher Cook, Chief of Police, Public Safety Director
Rick Sanderson, Fire Chief
Krystal Crump, Finance Director
Rich Tharp, Community Services Director
Robert Nunley, Planning and Development Director

EXECUTIVE STAFF PRESENT

Jeff James, City Manager
Amy Arnold, City Secretary
Alicia Kreh, TOASE, City Attorney

INVOCATION / PLEDGE OF ALLEGIANCE

Fire Chief Rick Sanderson gave the invocation and Mayor ProTem Munoz led the Pledge of Allegiance.

PUBLIC COMMENTS

Daniel Bennett addressed the City Council in favor of CCPD applicant.

PRESENTATIONS

The following presentations were heard.

1. Presentation to recognize the City Secretary's Office for receiving the Texas Municipal Clerk's Office Achievement of Excellence Award.
2. Presentation to recognize Police Chief Christopher Cook by the White Settlement Masonic Lodge 1372.
3. Presentation by Fire Chief Rick Sanderson - White Settlement Fire Department Annual Report.
4. Presentation by Police Chief Christopher Cook - White Settlement Police Department Neighborhood Speeding and Hotel/Motel Task Force updates.
5. Receive Charter Review Commission Report of Proposed Charter Amendments.
6. Presentation of Proclamation recognizing the 10th Anniversary of the White Settlement VFW.
7. City Manager presentation of items of community interest.

CONSENT AGENDA

Council Member Moore made a motion to approve the Consent Agenda. Council Member Price seconded the motion which carried unanimously. Approval of Consent Agenda items included the following:

8. Approval of City Council meeting minutes:

- a. June 6, 2023,
 - b. June 7, 2023,
 - c. June 8, 2023,
 - d. June 13, 2023,
 - e. June 14, 2023 and
 - f. June 21, 2023
9. Approval of extending Public Hearings tabled at the June 6, 2023 meeting to the August 1, 2023 to hear and consider amending the 2040 Comprehensive Plan for the property at MC DONNELL ADDITION Block 20 Lot 12A & A1 & ABST 262 TR 1A2, and Lot 12A1 & A1B, and Lot A1D, more commonly known as 730 S Cherry Lane, White Settlement, Texas, from Regional Commercial with a Mixed-Use Area to Low-Density Residential; a Re-zone from C-C (Commercial Corridor) to P-D (Planned Development) for the property located at MC DONNELL ADDITION Block 20 Lot 12A & A1 & ABST 262 TR 1A2, and Lot 12A1 & A1B, and Lot A1D, more commonly known as 730 S Cherry Lane, White Settlement, Texas; and a Re-Plat of the property located at MC DONNELL ADDITION Block 20 Lot 12A & A1 & ABST 262 TR 1A2, and Lot 12A1 & A1B, and Lot A1D, more commonly known as 730 S Cherry Lane. White Settlement, Texas.

OATH OF OFFICE

10. Present Oath of Office to Mayor Elect, Faron Young, for an unexpired term thru November 2023.
** There will be a brief recess after the oath of office ceremony*

City Secretary Amy Arnold presented the Oath of Office to Mayor Elect, Faron Young. At the conclusion of the ceremony a brief recess was held. Prior to reconvening in open session, Mayor Young provided a few words of thanks to his supporters.

Mayor ProTem Munoz announced a brief recess at 7:33 pm. Mayor Young reconvened the meeting in Open Session at 7:45 pm.

PUBLIC HEARING

11. Hold a Public Hearing and consider an Ordinance amending Noise Nuisance” of Chapter 30, "offenses and miscellaneous provisions" of the code of the City of White Settlement to amend the noise ordinance to add decibel levels; to add definitions related to noise; to set maximum sound levels based on zoning categories; to regulate amplifiers in the right of way; to restrict animal noise; to allow exceptions; providing that this ordinance shall be cumulative of all ordinances; providing a savings clause; providing a severability clause; providing a penalty clause; providing for publication; and providing an effective date.

Building Official Robert Nunley presented the item is being requested in order to set dB ratings and measuring devises that would assist staff in noise violation cases. Mr. Nunley explained NIST certifications and annual calibrations required in order to be used in court. Mr. Nunley explained current allowed levels and requested levels. Mr. Nunley mentioned current daytime hours of 6 am to 8 pm and night as 8 pm to 6 am were not changed due to the community being familiar with these hours.

Mayor Young opened the Public Hearing at 7:49 pm.

Scott Evans addressed the City Council in opposition to the item noting the dB level is a minimal change that would not make much difference.

Aaron James addressed the City Council in opposition to the item stating he agrees with the previous speaker and referenced City of Fort Worth noise ordinance.

Misty Henton addressed the City Council in favor of the item explaining her particular situation with neighbors and her agreement with current levels and time restrictions.

Mayor Young closed the Public Hearing at 7:56 pm.

Council Member Wright questioned the 8 pm hour for nighttime and suggested 10 pm.

Council Member Price suggested 80 dB for both current daytime and nighttime hours. Council Member Wright responded by asking the 8 pm be changed to 10 pm and the dB remain the same as is currently. Council Member Geesa suggested 9 pm instead of 8 or 10.

Mayor Young called for a motion to set the noise nuisance to 80 dB at 9 pm. Council Member Price made the motion.

Mr. Nunley requested clarification of daytime/nighttime dB to which Council Member Price stated 80 for both. Discussions continued as to dB and hours. Mr. Nunley clarified the proposed dB/time as being 80dB daytime/70dB nighttime for commercial and 70dB daytime/60dB nighttime for residential.

Mr. Nunley requested clarification on daytime/nighttime hours. Council members discussed 9 pm and 10 pm. Council Member Wright suggest the item be postponed to allow staff to come up with a plan to bring back to council. City Manager Jeff James addressed council members stating staff would be happy to postpone, however, staff is seeking direction from council on the item explaining staff's responsibility to present information and council's responsibility to give direction.

City Secretary Amy Arnold reminds Mayor Young of the motion on the floor. Council Member Price rescinded his motion. The City Secretary requested Mr. Nunley restate his understanding of the proposed residential dB/time for the record. Mr. Nunley explained his understanding from council discussions as being 80 dB 6 am – 10 pm and 60 dB 10 pm to 6 am (residential).

Council Member Wright made a motion to approve as discussed. Council Member Price seconded the motion. Prior to voting, Mr. Nunley asked whether the above times were to be for commercial as well; council confirmed. Mr. Nunley restated staff's understanding of the motion as:

Commercial: 80dB 6am – 10pm (daytime) / 70dB 10pm- 6am (nighttime)

Residential: 80dB 6am – 10pm (daytime) / 60dB 10pm-6am (nighttime).

Council Members confirmed, voted and the motion carried unanimously.

DELIBERATION AGENDA

12. Discuss and consider the Charter Review Commission Report of Proposed Charter Amendments to determine amendments to be on a ballot of a special election to be held November 7, 2023.

City Attorney, Alicia Kreh of TOASE, mentioned the item is the same presented earlier mentioning any additional amendments or questions about the process can be addressed at this time.

Council Member Price asked whether the item could be postponed. City Secretary Amy Arnold explained timeframe for calling the election could be affected. City Attorney Alicia Kreh explained postponing would condense the timeframe to get corrected ballot language to council for calling an election.

Council Member Wright made a motion to approve proposed amendments as presented to be on a ballot for the November 7, 2023 General Election. Mayor ProTem Munoz seconded the motion which carried with a vote of 4 to 1 with Council Member Geesa abstaining.

13. Discuss and consider approving an ordinance amending the Crime Control and Prevention District (CCPD) Fiscal Year 2022-2023 Budget allowing for unanticipated changes in expenditures.

Finance Director Krystal Crump presented information explaining the requested amendment is due to unexpected expenses for equipment and software not included in the adopted budget.

Council Member Price made a motion to approve amending the CCPD FY 2022-2023 budget allowing for unanticipated changes in expenditures. Council Member Wright seconded the motion which carried unanimously.

14. Discuss and consider approving an ordinance amending the Economic Development Corporation (EDC) Fiscal Year 2022-2023 Budget allowing for unanticipated changes in expenditures.

Finance Director Krystal Crump presented information explaining the request is to cover the cost of purchased land not included in the budget.

Mayor ProTem Munoz made a motion to approve an ordinance amending the Economic Development Corporation (EDC) Fiscal Year 2022-2023 Budget allowing for unanticipated changes in expenditures. Council Member Price seconded the motion which carried unanimously.

15. Discuss and consider approving an ordinance amending the City of White Settlement Fiscal Year 2022-2023 Budget for General Fund and Stormwater Fund for unanticipated changes in revenues and expenditures/expenses.

Finance Director Krystal Crump explained the item listing proposed revenue and expenditure changes which included

- to increase in interest income revenue in the General Fund for a total of \$380,000
- to increase intergovernmental revenue for Westworth Village in the General Fund for a total of \$130,000
- to increase intergovernmental revenue for Sansom Park in the General Fund for a total of \$45,000
- to increase the following departments and accounts in the General Fund for a total of \$450,000
 - Council – Other Professional Services - \$73,000
 - Human Resources – Annual Computer Maintenance - \$35,000
 - Police Admin – Other Equipment - \$101,000
 - Patrol – Salaries - \$154,000
 - Parks – Other Equipment - \$20,000
 - Dispatch – Salaries - \$67,000
- to increase the following departments and accounts in the Stormwater Utility Fund for a total of \$48,000
 - Stormwater – System Maintenance - \$36,000
 - Stormwater – Dues/Subscriptions - \$3,200
 - Stormwater – Other Equipment - \$8,800

Council Member Geesa made a motion to approve an ordinance amending the City of White Settlement Fiscal Year 2022-2023 Budget for General Fund and Stormwater Fund for unanticipated changes in revenues and expenditures. Council Member Moore seconded the motion which carried unanimously.

16. Discuss and consider Council proposals for consideration into the 2023-2024 budget.

Finance Director Krystal Crump presented summaries of the General Fund, Water and Sewer Fund as well as an updated proposal sheet that includes all items in the current proposed budget. Ms. Crump

explained the updated proposal sheet totals \$5,923,935.00; General Fund Revenue remains at 15.1M with Exp updated to \$207,450.00.

Ms. Crump mentioned adding two proposals requested by council members, striping equipment and animal control HVAC system, would increase expenditures an additional \$81,000.00 putting the budget at \$288,450.00 in deficit. Ms. Crump explained a \$180,000.00 increase in Splash Dayz transfers based on budget presented creating a total increase in general fund expenditures of \$388,947.00.

Ms. Crump explained majority of general fund increase as being personnel cost and mentioned staff finalized a 3% salary increase for all staff as well as step raises for police, dispatch and fire. Ms. Crump presented information on a 1.1% increase in TMRS which was given to staff after budget workshops.

Ms. Crump discussed items received from council members to be considered from the proposal list as requested at the previous council meeting. These items included striping equipment (\$31, 580.00) and Animal Control Kennel HVAC (\$50,000.00) as well as to reduce media improvements by \$1000 noting the original quoted amount of 3160 which would require a change in requested items.

Ms. Crump discussed Property Tax mentioning numbers are not final as final numbers will be received July 25th; staff will present final proposed budget to City Council on August 1st. Ms. Crump mentioned staff's hope to have new developments and/or changes prior to August 1 in order to present a balanced budget with proposed items for consideration.

City Manager Jeff James addressed the city council to make city council aware that the proposed budget to date, with included proposed items mentioned, is a deficit budget which is illegal for the city to present to the council for a vote. Mr. James explained that on July 25th staff will know tax numbers. He mentioned, depending on the numbers, some proposal items may be removed from the proposed budget until the budget expenditures match revenues. Mr. James clarified this could mean a reduction in salary increase, no HVAC for animal control, no striping equipment, etc., or could mean the items remain if anticipated tax numbers are confirmed. Mr. James concluded he wanted to make certain council members were aware of the aforementioned.

Ms. Crump continued by discussing Water / Sewer Fund and Other requests. No revenue change, look at 2.5% increase on water/sewer for additional 215, 000 to help offset the \$1.6M currently presented deficit budget, increase of 99028 due to personnel costs, current WS Fund 1.6M, deficit 1M due to meter replacement program with an EPA deadline of October 2024. Other items include Rec Center decrease building entrance and customer service remodel., included in city complex remodel program. Appreciated feedback from everyone.

Lastly, Ms. Crump updated members on a list of the cost of salary increases at a 3% increase (lines 103,104,105,107,109 and 110 of the handout) explaining those numbers could be cut according to savings required. Ms. Crump reviewed upcoming budget items including presentation of the proposed budget on August 1, record vote for tax rate Aug 8th, Public Hearings and tax rate adoption at the Aug 30 meeting with budget and tax rate adoption in September.

Council Member Moore made a motion to approve. Council Member seconded the motion which carried unanimously.

BOARD APPOINTMENTS

17. Make appointments to vacant boards and commissions as follows:

- a) Crime Control and Prevention District, terms to expire February 2025
 - Place 4, currently vacant
 - At-large, currently vacant

Mayor ProTem Munoz made a motion to appoint Zachary Moten to CCPD Place 4. Council Member Wright seconded the motion which carried unanimously.

Council Member Price made a motion to appoint Mark Byrd to At-Large. Council Member Wright seconded the motion which carried with a vote of 4 to 1 with Council Member Geesa voting nay.

EXECUTIVE SESSION

Mayor Young announced City Council would convene in Executive Session at 8:44 pm after first reading the following statement:

Pursuant to the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the City Council may convene into Executive Session to deliberate regarding the following matters:

18. Sec. 551.071 Consultation with Attorney: The City Council reserves the right to adjourn into Executive Session at any time during the course of this meeting to seek legal advice from the city attorney about any matters listed on the agenda
19. Sec. 551.074 Deliberation Regarding Personnel Matters: to deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee:
 - a. City Manager
 - b. City Secretary

RECONVENE IN OPEN SESSION

Take action, if any, on items discussed in Executive Session.

Mayor Young announced City Council reconvened in open session at 9:05 pm to take action on any items as discussed in Executive Session.

Mayor ProTem Munoz made a motion to approve amendments to the City Manager employment contract. Council Member Price seconded the motion which carried unanimously.

ADJOURNMENT

With there being no further action, Mayor Young adjourned the meeting at 9:07 pm.

Approved this 1st day of August, 2023.

Faron Young,
Mayor

ATTEST:

Amy Arnold, TRMC, CMC
City Secretary



**MINUTES OF A PUBLIC MEETING
SPECIAL MEETING OF THE CITY COUNCIL
CITY OF WHITE SETTLEMENT, TEXAS**

5:30 PM – July 27, 2023

City Hall – Council Chambers
214 Meadow Park Drive, White Settlement, TX 76108

CALL TO ORDER

Mayor Young called the meeting to order at 6:30 p.m. with a quorum of members present as follows:

CITY COUNCIL MEMBERS PRESENT

Faron Young, Mayor
Amber Munoz, Mayor ProTem, Place 3
Paul Moore, Council Member Place 1
Alan Price, Council Member Place 2
William Wright, Council Member Place 4
Gregg Geesa, Council Member Place 5

EXECUTIVE STAFF PRESENT

Jeff James, City Manager
Amy Arnold, City Secretary

DIRECTORS PRESENT

Larry Hoover, Public Works Director
Rick Sanderson, Fire Chief
Rich Tharp, Community Services Director

PUBLIC PARTICIPATION

There were none.

DELIBERATION AGENDA

1. Discuss and consider awarding construction of a project described as RFP 2023-002 Well Site 10 Sodium Hydroxide Chemical System Addition and other improvements incidental thereto, to Felix Construction Co. for an amount not to exceed \$800,000.

City Manager Jeff James mentioned city council previously approved an PSA with Freese and Nichols (F&N) for the item, further explaining installation will satisfy TCEQ requirements. Mr. James mentioned one bid was received during the bid process which requires council action to proceed. Mr. James also mentioned alternative options presented by F&N to TCEQ on the city's behalf, which were denied, as well as a request for an extension. City Manager Jeff James mentioned Andrew Franko of F&N is present and available to answer questions.

Mayor Young questioned whether F&N came up with alternative solutions. Both Mr. James and Mr. Franko explained the design engineer with F&N, James Naylor, presented alternatives and briefly discussed an upcoming meeting between F&N and city staff. Mr. James and Mr. Naylor were in

agreement that the best solution is to move forward with approving the bid to comply with TCEQ requirements.

Council Member Wright questioned the projected timeframe. Mr. James noted staff spoke with representatives from Felix Construction Co., who confirmed work could not begin for at least another five to six months due to current workload.

Council Member Geesa made a motion to continue with the installation, approving the award to Felix Construction Co. Council Member Wright seconded the motion which carried unanimously.

EXECUTIVE SESSION

Executive Session was not held.

2. Pursuant to the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the City Council may convene into Executive Session to deliberate regarding the following matters:
 - a. Sec. 551.071 Consultation with Attorney: The City Council reserves the right to adjourn into Executive Session at any time during the course of this meeting to seek legal advice from the city attorney about any matters listed on the agenda.

RECONVENE IN OPEN SESSION

3. Take action, if any, on items discussed in Executive Session,

ADJOURNMENT

With there being no further action, Mayor Young adjourned the meeting at 5:35 pm.

Approved this 1st day of August, 2023.

Faron Young,
Mayor

ATTEST:

Amy Arnold, TRMC, CMC
City Secretary

**WHITE SETTLEMENT FINANCE DEPARTMENT
EXTERNAL CORRESPONDENCE MEMORANDUM
INFORMAL REPORT TO MAYOR AND COUNCIL**

TO: WHITE SETTLEMENT CITY COUNCIL
FROM: KRYSTAL CRUMP
REF: QUARTERLY INVESTMENT REPORT 06/30/2023
DATE: AUGUST 1, 2023

ISSUE

The Public Funds Investment Act, Chapter 2256, Texas Government Code states:

“... quarterly, the investment officer of the city shall prepare and submit to the governing body a written report of investment transactions for the reporting period.”

DISCUSSION

All deposits are fully collateralized and yield for the Total Portfolio is 4.41% for the quarter. Year-to-date Interest Income is \$1,725,036 (\$687,232 for the Quarter). This increase in interest income is primarily a result of an increase in interest rates.

Cash flow projections are continually evaluated, therefore we will be looking to ladder additional investments as needs permit and as opportunities are identified. Financial institution deposits and laddering targeted cash flows continue to provide the best interest earnings opportunity. Additional insight is contained in the attached report.

In accordance with the Public Funds Investment Act, attached is a copy of the City of White Settlement's Investment Report for the quarter ending June 30, 2023.

ACTION

The finance department is requesting the City Council approve the quarterly investment report per Public Funds Investment Act.

ADDITIONAL INFORMATION

Attached: Quarterly Investment Report

STAFF CONTACT(S)

Krystal Crump
Finance Director
817-246-4971 ext 851
kcrump@wstx.us

Jeffrey James
City Manager
817-246-4971 ext 253
jjames@wstx.us



QUARTERLY INVESTMENT REPORT For the Quarter Ended

June 30, 2023

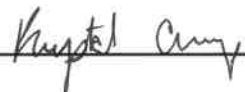
Prepared by

Valley View Consulting, L.L.C.

The investment portfolio of the City of White Settlement is in compliance with the Public Funds Investment Act and the Investment Policy and its incorporated strategies.



City Manager

 7/26/2023

Finance Director

Disclaimer: These reports were compiled using information provided by the City. No procedures were performed to test the accuracy or completeness of this information. The market values included in these reports were obtained by Valley View Consulting, L.L.C. from sources believed to be accurate and represent proprietary valuation. Due to market fluctuations these levels are not necessarily reflective of current liquidation values. Yield calculations are not determined using standard performance formulas, are not representative of total return yields and do not account for investment advisor fees.

Summary

Quarter End Results by Investment Category:

Asset Type	March 31, 2023		June 30, 2023		
	Book Value	Market Value	Book Value	Market Value	Ave. Yield
Pools/Bank/MMA	\$ 36,517,101	\$ 36,517,101	\$ 32,047,204	\$ 32,047,204	5.17%
Securities/CDs	30,014,904	29,936,525	34,197,406	34,119,448	3.70%
Totals	\$ 66,532,006	\$ 66,453,626	\$ 66,244,609	\$ 66,166,651	4.41%

Quarter End Average Yield (1)

Total Portfolio	4.41%
Rolling Three Month Treasury	5.28%
Rolling Six Month Treasury	5.08%
TexPool	5.05%

Fiscal Year-to-Date Average Yield (2)

Total Portfolio	3.89%
Rolling Three Month Treasury	4.75%
Rolling Six Month Treasury	4.57%
Quarterly TexPool Yield	4.55%

Interest Earnings (Approximate)

Quarterly Interest Income	\$ 687,232
Year-to-date Interest Income	\$ 1,725,036

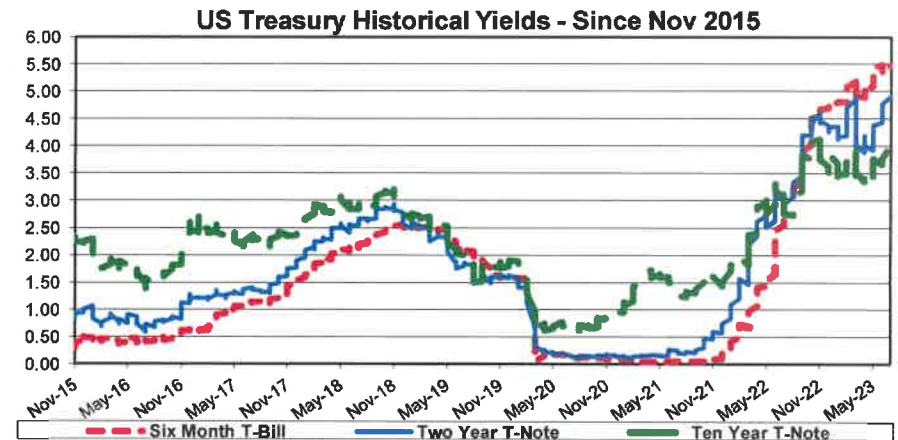
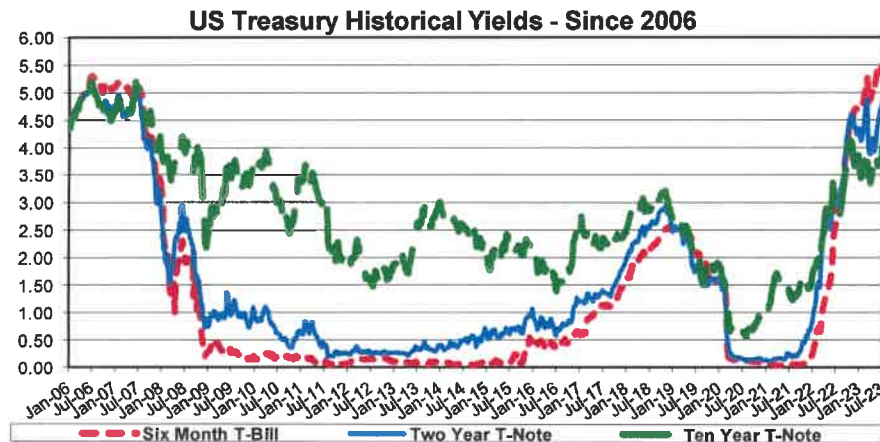
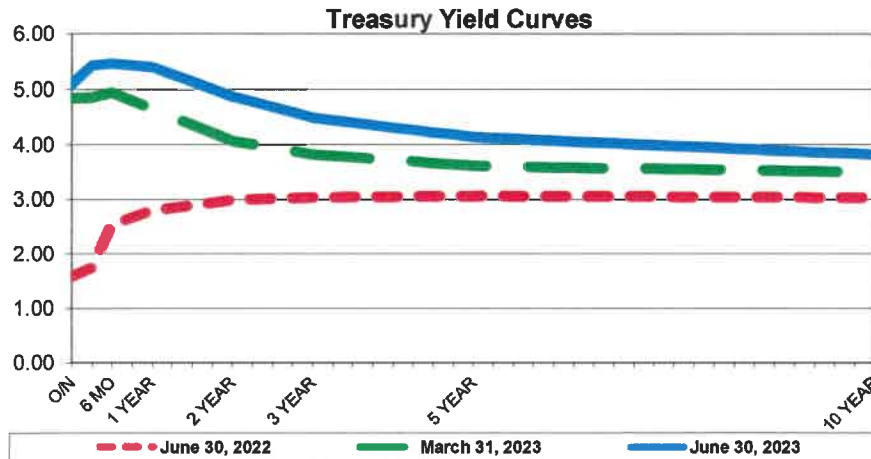
(1) **Quarter End Average Yield** - based on adjusted book value, realized and unrealized gains/losses and investment advisory fees are not considered. The yield for the reporting month is used for bank, pool, and money market balances.

(2) **Fiscal Year-to-Date Average Yield** - calculated using quarter end report yields and adjusted book values and does not reflect a total return analysis or account for advisory fees.

Economic Overview

6/30/2023

The Federal Open Market Committee (FOMC) paused and kept the Fed Funds target range 5.00% - 5.25% June 14th (Effective Fed Funds are trading +/-5.08%). Another increase is projected after the July 25-26 meeting. First quarter 2023 GDP (Final) recorded 2.0%. June Non-Farm Payroll added 209k new jobs, below the 230k projection. The three month average declined to 244k. The S&P Stock Index continues moderate increases, trading +/-4,400. The yield curve rose from last month but remains steeply inverted with the expectation of future FOMC rate decreases. Crude Oil trades over +/- \$70 per barrel. Inflation declined slightly but is still over the FOMC 2% target (Core PCE +/-4.6% and CPI +/-5.3%). The Ukrainian/Russian war and Middle East conflicts increase market anxiety.

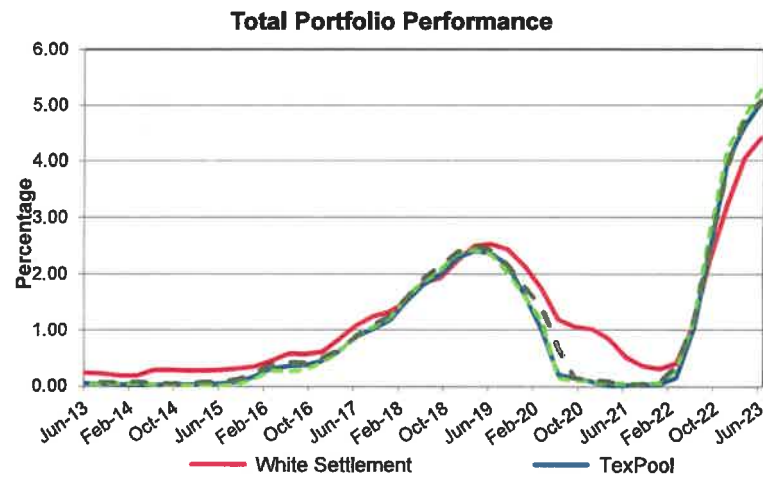
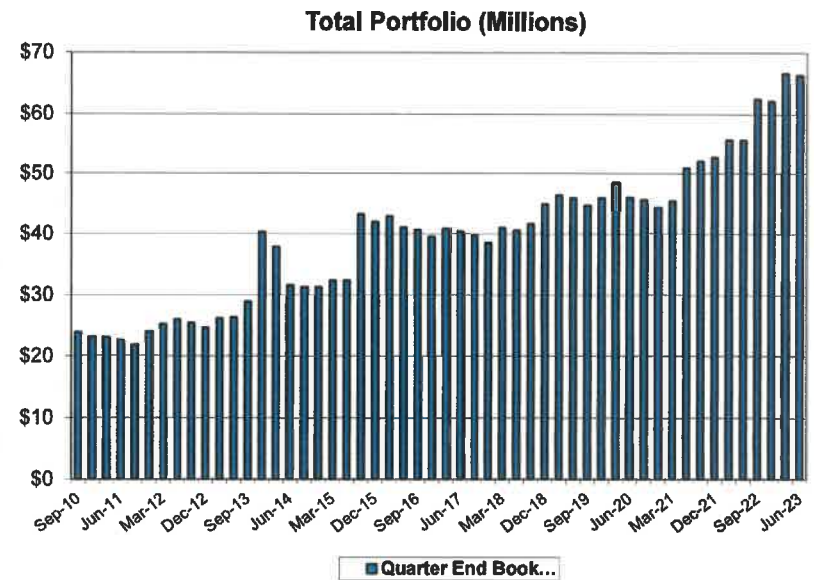
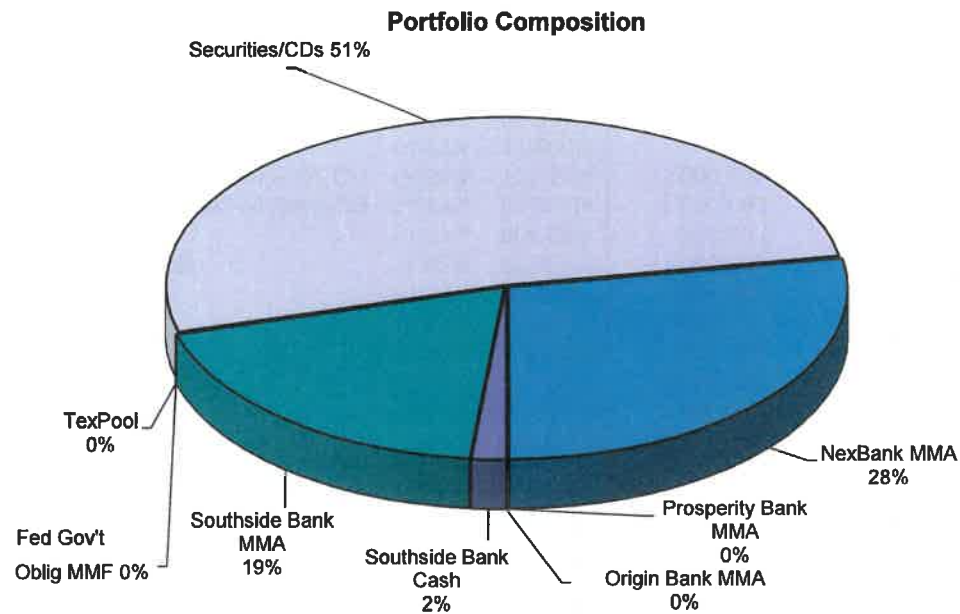


Investment Holdings
June 30, 2023

Description	Ratings	Coupon/ Discount	Maturity Date	Settlement Date	Par Value	Book Value	Market Price	Market Value	Life (Days)	Yield
Southside Bank Cash		0.70%	07/01/23	06/30/23	\$ 1,080,860	\$ 1,080,860	1.00	\$ 1,080,860	1	0.70%
Southside Bank MMA		5.38%	07/01/23	06/30/23	3,358,420	3,358,420	1.00	3,358,420	1	5.38%
Southside Bank MMA #2		5.38%	07/01/23	06/30/23	9,208,478	9,208,478	1.00	9,208,478	1	5.38%
NexBank MMA		5.30%	07/01/23	06/30/23	18,361,445	18,361,445	1.00	18,361,445	1	5.30%
Origin Bank MMA		1.25%	07/01/23	06/30/23	10,118	10,118	1.00	10,118	1	1.25%
Prosperity Bank MMA		1.11%	07/01/23	06/30/23	10,136	10,136	1.00	10,136	1	1.11%
Fed Gov't Oblig MMF	AAAm	4.99%	07/01/23	06/30/23	16,000	16,000	1.00	16,000	1	4.99%
TexPool	AAAm	5.05%	07/01/23	06/30/23	1,748	1,748	1.00	1,748	1	5.05%
FFCB	Aaa/AA+	0.45%	07/24/23	01/21/22	3,000,000	2,999,104	99.70	2,990,970	24	0.91%
East West Bank CD		4.87%	07/26/23	01/26/23	1,021,031	1,021,031	100.00	1,021,031	26	4.99%
Veritex Community Bank CD		0.25%	07/31/23	07/30/21	1,004,806	1,004,806	100.00	1,004,806	31	0.25%
FHLB	Aaa/AA+	0.00%	09/12/23	09/15/22	1,000,000	992,024	99.03	990,310	74	4.04%
East West Bank CD		3.94%	09/18/23	09/16/22	1,031,575	1,031,575	100.00	1,031,575	80	4.02%
East West Bank CD		4.81%	10/26/23	01/26/23	1,020,769	1,020,769	100.00	1,020,769	118	4.93%
Southside Bank CD		3.22%	11/01/23	08/01/22	1,536,417	1,536,417	100.00	1,536,417	124	3.26%
CapTex Bank CD		0.50%	11/22/23	11/22/21	3,034,467	3,034,467	100.00	3,034,467	145	0.50%
East West Bank CD		5.56%	11/24/23	05/24/23	1,005,805	1,005,805	100.00	1,005,805	147	5.72%
Southside Bank CD		3.32%	02/01/24	08/01/22	1,537,557	1,537,557	100.00	1,537,557	216	3.36%
FHLB	Aaa/AA+	3.25%	03/08/24	07/26/22	2,000,000	2,002,563	98.53	1,970,560	252	3.06%
Bank OZK CD		4.93%	03/29/24	03/29/23	2,025,006	2,025,006	100.00	2,025,006	273	5.05%
Wallis Bank CD		4.65%	04/30/24	01/30/23	1,011,466	1,011,466	100.00	1,011,466	305	4.65%
T-Note	Aaa/AA+	2.50%	05/15/24	11/10/22	1,000,000	980,503	97.49	974,920	320	4.83%
T-Note	Aaa/AA+	3.00%	06/30/24	09/15/22	1,000,000	991,999	97.64	976,410	366	3.83%
T-Note	Aaa/AA+	0.38%	07/15/24	11/10/22	1,000,000	956,347	94.97	949,730	381	4.78%
Wallis Bank CD		4.62%	07/30/24	01/30/23	1,011,392	1,011,392	100.00	1,011,392	396	4.62%
FHLB	Aaa/AA+	4.00%	08/28/24	11/30/22	1,000,000	992,507	98.42	984,190	425	4.67%
Independent Financial Bank CD		4.50%	09/25/24	01/25/23	1,009,986	1,009,986	100.00	1,009,986	453	4.58%
Independent Financial Bank CD		4.50%	10/25/24	01/25/23	1,009,986	1,009,986	100.00	1,009,986	483	4.58%
Southside Bank CD		4.65%	11/20/24	04/20/23	1,000,000	1,000,000	100.00	1,000,000	509	4.73%
Independent Financial Bank CD		4.50%	01/25/25	01/25/23	1,009,986	1,009,986	100.00	1,009,986	575	4.58%
Third Coast Bank CD		5.20%	02/28/25	06/28/23	1,000,000	1,000,000	100.00	1,000,000	609	5.30%
Third Coast Bank CD		5.20%	03/28/25	06/28/23	1,000,000	1,000,000	100.00	1,000,000	637	5.30%
BOK Financial CDARS		4.61%	05/01/25	05/04/23	1,007,346	1,007,346	100.00	1,007,346	671	4.71%
BOK Financial CDARS		4.69%	05/22/25	05/25/23	1,004,764	1,004,764	100.00	1,004,764	692	4.80%
Third Coast Bank CD		5.10%	06/28/25	06/28/23	1,000,000	1,000,000	100.00	1,000,000	729	5.20%
Total					\$ 66,329,561	\$ 66,244,609		\$ 66,166,651	153	4.41%
									(1)	(2)

(1) **Weighted average life** - For purposes of calculating weighted average life, cash equivalent investments are assumed to have a one day maturity.

(2) **Weighted average yield to maturity** - The weighted average yield to maturity is based on adjusted book value, realized and unrealized gains/losses and investment advisory fees are not considered. The yield for the reporting month is used for pool, and bank account investments.



Book & Market Value Comparison

Issuer/Description	Yield	Maturity Date	Book Value 03/31/23	Increases	Decreases	Book Value 06/30/23	Market Value 03/31/23	Change in Market Value	Market Value 06/30/23
Southside Bank Cash	0.70%	07/01/23	\$ 1,541,761	\$ —	\$ (460,902)	\$ 1,080,860	\$ 1,541,761	\$ (460,902)	\$ 1,080,860
Southside Bank MMA	5.38%	07/01/23	3,315,749	42,671	—	3,358,420	3,315,749	42,671	3,358,420
Southside Bank MMA #2	5.38%	07/01/23	13,239,670	—	(4,031,192)	9,208,478	13,239,670	(4,031,192)	9,208,478
NexBank MMA	5.30%	07/01/23	18,127,139	234,306	—	18,361,445	18,127,139	234,306	18,361,445
Origin Bank MMA	1.25%	07/01/23	10,091	27	—	10,118	10,091	27	10,118
Prosperity Bank MMA	1.11%	07/01/23	10,108	28	—	10,136	10,108	28	10,136
Fed Gov't Oblig MMF	4.99%	07/01/23	270,857	—	(254,857)	16,000	270,857	(254,857)	16,000
TexPool	5.05%	07/01/23	1,726	22	—	1,748	1,726	22	1,748
FHLMC	1.95%	04/20/23	999,152	—	(999,152)	—	997,790	(997,790)	—
CapTex Bank CD	0.40%	05/21/23	1,013,916	—	(1,013,916)	—	1,013,916	(1,013,916)	—
FHLMC	2.24%	06/26/23	995,353	—	(995,353)	—	989,950	(989,950)	—
FFCB	0.91%	07/24/23	2,995,707	3,397	—	2,999,104	2,958,180	32,790	2,990,970
East West Bank CD	4.99%	07/26/23	1,008,710	12,321	—	1,021,031	1,008,710	12,321	1,021,031
Veritex Community Bank CD	0.25%	07/31/23	1,004,173	633	—	1,004,806	1,004,173	633	1,004,806
FHLB	4.04%	09/12/23	982,217	9,808	—	992,024	979,000	11,310	990,310
East West Bank CD	4.02%	09/18/23	1,021,492	10,083	—	1,031,575	1,021,492	10,083	1,031,575
East West Bank CD	4.93%	10/26/23	1,008,602	12,167	—	1,020,769	1,008,602	12,167	1,020,769
Southside Bank CD	3.26%	11/01/23	1,524,447	11,969	—	1,536,417	1,524,447	11,969	1,536,417
CapTex Bank CD	0.50%	11/22/23	3,030,646	3,821	—	3,034,467	3,030,646	3,821	3,034,467
East West Bank CD	5.72%	11/24/23	—	1,005,805	—	1,005,805	—	1,005,805	1,005,805
Southside Bank CD	3.36%	02/01/24	1,525,210	12,347	—	1,537,557	1,525,210	12,347	1,537,557
FHLB	3.06%	03/08/24	2,003,489	—	(926)	2,002,563	1,971,700	(1,140)	1,970,560
Bank OZK CD	5.05%	03/29/24	2,000,000	25,006	—	2,025,006	2,000,000	25,006	2,025,006
Wallis Bank CD	4.65%	04/30/24	1,000,000	11,466	—	1,011,466	1,000,000	11,466	1,011,466
T-Note	4.83%	05/15/24	974,958	5,545	—	980,503	977,970	(3,050)	974,920
T-Note	3.83%	06/30/24	990,010	1,989	—	991,999	982,070	(5,660)	976,410
T-Note	4.78%	07/15/24	945,921	10,426	—	956,347	949,840	(110)	949,730
Wallis Bank CD	4.62%	07/30/24	1,000,000	11,392	—	1,011,392	1,000,000	11,392	1,011,392
FHLB	4.67%	08/28/24	990,903	1,604	—	992,507	992,830	(8,640)	984,190
Independent Financial Bank CD	4.58%	09/25/24	1,000,000	9,986	—	1,009,986	1,000,000	9,986	1,009,986
Independent Financial Bank CD	4.58%	10/25/24	1,000,000	9,986	—	1,009,986	1,000,000	9,986	1,009,986
Southside Bank CD	4.73%	11/20/24	—	1,000,000	—	1,000,000	—	1,000,000	1,000,000
Independent Financial Bank CD	4.58%	01/25/25	1,000,000	9,986	—	1,009,986	1,000,000	9,986	1,009,986
Third Coast Bank CD	5.30%	02/28/25	—	1,000,000	—	1,000,000	—	1,000,000	1,000,000
Third Coast Bank CD	5.30%	03/28/25	—	1,000,000	—	1,000,000	—	1,000,000	1,000,000
BOK Financial CDARS	4.71%	05/01/25	—	1,007,346	—	1,007,346	—	1,007,346	1,007,346
BOK Financial CDARS	4.80%	05/22/25	—	1,004,764	—	1,004,764	—	1,004,764	1,004,764
Third Coast Bank CD	5.20%	06/28/25	—	1,000,000	—	1,000,000	—	1,000,000	1,000,000
TOTAL / AVERAGE	4.41%		\$ 66,532,006	\$ 7,468,901	\$ (7,756,298)	\$ 66,244,609	\$ 66,453,626	\$ (286,975)	\$ 66,166,651

ORDINANCE NO 2023-08-012-13

AN ORDINANCE BY THE CITY COUNCIL OF THE CITY OF WHITE SETTLEMENT, TEXAS CALLING FOR A GENERAL ELECTION TO BE HELD ON NOVEMBER 7, 2023; APPROVING A JOINT ELECTION WITH OTHER ENTITIES; PROVIDING FOR THE ELECTION TO BE CONTRACTED WITH TARRANT COUNTY; ESTABLISHING PROCEDURES FOR THE ELECTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the General Election for the City Council of the City of White Settlement, Texas, as set forth by the adoption of City of White Settlement Resolution No. 987-11, by the Home Rule Charter and by the Texas Election Code (“Code”), is required to be held Tuesday, November 7, 2023; and

WHEREAS, the City Council wishes to contract through the Tarrant County Elections Administrator for the General Election; and

WHEREAS, the City of White Settlement, along with other cities and independent school districts located entirely and partially within Tarrant County who may also be holding an election on November 7, 2023, desire to conduct joint elections contracted through the Tarrant County Elections Administrator, pursuant to the provisions of Chapter 271 of the Code, including the conduct of joint early voting, and to provide for the sharing of expenses.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WHITE SETTLEMENT, TEXAS, THAT:

Section 1. Election Called: An election is hereby called and ordered to elect persons to the offices of Mayor and Council Member Place 1 to serve a three-year term commencing November 2023 through November 2026 or until successors are duly elected and qualified. The election shall be held on Tuesday, November 7, 2023, between the hours of 7:00 a.m. and 7:00 p.m. at polling locations designated by the Tarrant County Elections Administration.

Section 2. Agreement with Tarrant County: The Mayor is authorized to execute an agreement with Tarrant County for the Tarrant County Election Administrator to conduct the General Election jointly with other cities and independent school districts (the “Agreement”) at such polling places as designated by the Tarrant County Elections Administrator.

Section 3. Polling Places: Polling places shall be those designated in the Agreement and shall include White Settlement Public Library, 8215 White Settlement Road, White Settlement, TX and Pecan Grove Convention Center, 405 North Las Vegas Trail, White Settlement, TX as two of the polling places. The White Settlement Public Library shall be the main polling place on election day.

Section 4. Election Judges: Tarrant County will appoint the election judges as authorized by Chapter 271 of the Code.

Section 5. Application for a Place on the Ballot: Qualified persons may file as candidates by filing applications for a place on the ballot in the office of the City Secretary from 8:00 a.m. to 5:00 p.m., Monday through Friday, located at 214 Meadow Park Drive, White Settlement, Texas 76108. The City Secretary's email address and phone number are: aarnold@wstx.us; 817-246-4971. The first day for filing an application for a place on the ballot is July 24, 2023, and the last day for filing an application for a place on the ballot is August 21, 2023, at 5:00 p.m. The City Secretary's Office is not required to be open on Saturday or Sunday for either of these activities. In the event the City Secretary is not in her office at the time a qualified person wishes to file for a place on the ballot, the City Secretary may designate a qualified staff member to accept the application on behalf of the City Secretary's Office and follow the same filing procedures as the City Secretary's Office would normally follow. In addition, qualified applicants may submit their applications via email to the City Secretary's Office at aarnold@wstx.us. The qualified person must submit a filing fee with their application, which can be done in person or over the phone. The City Secretary will confirm receipt of an emailed application upon confirmation of filing fee receipt.

Section 6. Early Voting:

a. **Early Voting by Personal Appearance.** Early voting by personal appearance shall commence Monday, October 23, 2023, and shall continue until Friday, November 3, 2023, at the time and location designated in the Agreement.

b. **Early Voting Clerk Designated.** The Tarrant County Election Administrator (Elections Administrator) is hereby designated as Early Voting Clerk for the general election, and may be contacted as follows:

Mailing Address: Early Voting Clerk
PO Box 961011
Fort Worth, Texas 76161

Physical Address: 2700 Premier St.
Fort Worth, Texas 76111

Phone: 817-850-2344

Email: votebyemail@tarrantcounty.com

Website: tarrantcountytexas.gov

c. **Voting by Mail.** Applications for voting by mail may be delivered to the Elections Administrator for those qualified no later than _____ at the following address: Early Voting Clerk, P.O. Box 961011, Fort Worth, Texas 76161-0011. Ballots by mail must be postmarked no later than Election Day, November 7, 2023. Applications may be faxed or emailed to the address listed above for the Early Voting Clerk, but a hard copy must be mailed or delivered to the Early Voting Clerk no later than four (4) days after emailed or faxed.

d. **Early Voting Ballot Board.** Early voting, both by personal appearance and by mail shall be canvassed by the Early Voting Ballot Board, which is hereby created. The Presiding Election Judge and Alternate Presiding Election Judge, appointed herein, shall serve as the presiding officer and alternate presiding officer, respectively, of the Early Voting Ballot Board. The other election officers serving at the election shall serve as the other members of the Early Voting Ballot Board.

e. **Appointment of Election Judge and Alternate Election Judge:** The Presiding Election Judge and Alternate Presiding Judge shall be appointed by Tarrant County as authorized by Chapter 271 of the Texas Election Code.

Section 7.: Ballots containing offices and separate ballots containing propositions may be utilized to be voted on at each polling place, provided that no voter shall be given a ballot or permitted to vote for any office or proposition on which the voter is ineligible to vote. The County's voting equipment will be utilized for this election.

Section 8.: The expense of the joint election shall be borne by the City of White Settlement and other entities, as outlined in the election agreement with Tarrant County.

Section 9.: The Council hereby orders that, following the canvass of the November 7, 2023 election, any runoff election required shall be held in accordance with Section 2.025(a) of the Code, and on a date as agreed to between the City of White Settlement and the Tarrant County Elections Administration.

Section 10.: Notice of the election shall be given as required by the Code.

Section 11.: The Mayor and the City Secretary, in consultation with the City Attorney, are hereby authorized and directed to take any and all actions necessary to comply with the provisions of federal and state law in carrying out and conducting the election, whether or not expressly authorized herein.

Section 12.: This Ordinance shall be effective immediately upon approval.

Passed and approved on this the 1st day of August, 2023.

Faron Young, Mayor

ATTEST:

Amy Arnold, TRMC, CMC
City Secretary

APPROVED AS TO FORM:

James Donovan, City Attorney
TOASE

MODEL STAFF REPORT REGARDING ONCOR ELECTRIC DELIVERY COMPANY, LLC'S DISTRIBUTION COST RECOVERY FACTOR AND MOBILE GENERATION RIDERS FILING

On June 30, 2023, Oncor Electric Delivery Company, LLC ("Oncor" or "Company") filed an Application to Amend its Distribution Cost Recovery Factor ("DCRF") and Update its Mobile Generation Riders to increase distribution rates within each of the cities in its service area. In the filing, the Company asserts it is seeking an increase in distribution revenues of approximately \$152.78 million. The Company is also seeking to update its Rider Mobile Generation and Rider Wholesale Mobile Generation to recover revenue related to mobile generation unit leasing and operation. The Rider would recover approximately \$1.07 million.

The resolution authorizes the City to join with the Steering Committee of Cities Served by Oncor ("OCSC") to evaluate the filing, determine whether the filing complies with law, and if lawful, to determine what further strategy, including settlement, to pursue.

Purpose of the Resolution:

The purpose of the Resolution is to deny the DCRF application proposed by Oncor.

Explanation of "Be It Resolved" Paragraphs:

1. This section authorizes the City to participate with OCSC as a party in the Company's DCRF filing, PUC Docket No. 55190.
2. This section authorizes the hiring of Lloyd Gosselink and consultants to review the filing, negotiate with the Company, and make recommendations to the City regarding reasonable rates. Additionally, it authorizes Cities to direct any necessary administrative proceedings or court litigation associated with an appeal of this application filed with the PUC.
3. This paragraph finds that the Company's application is unreasonable and should be denied.
4. This section states that the Company's current rates shall not be changed.
5. The Company will reimburse Cities for their reasonable rate case expenses. Legal counsel and consultants approved by Cities will submit monthly invoices that will be forwarded to Oncor for reimbursement.
6. This section recites that the Resolution was passed at a meeting that was open to the public and that the consideration of the Resolution was properly noticed.
7. This section provides that Oncor and counsel for OCSC will be notified of the City's action by sending a copy of the approved and signed Resolution to counsel.

Commented [RA1]: Oncor seeks to recover \$1.82 million total for mobile generation, but this figure includes amounts previously approved in Docket No. 53601.

This proceeding requests an additional \$1.07 million beyond what the Commissioners approved in Docket 53601.

I figured I would clarify because Oncor, at the beginning, states that it seeks \$1.82 million related to mobile generation.

Also, Oncor did not include an figure related to an increase on individual retail customer bills.

RESOLUTION NO. _____

A RESOLUTION OF THE CITY OF WHITE SETTLEMENT TEXAS FINDING THAT ONCOR ELECTRIC DELIVERY COMPANY LLC'S APPLICATION TO AMEND ITS DISTRIBUTION COST RECOVERY FACTOR AND UPDATE GENERATION RIDERS TO INCREASE DISTRIBUTION RATES WITHIN THE CITY SHOULD BE DENIED; AUTHORIZING PARTICIPATION WITH THE STEERING COMMITTEE OF CITIES SERVED BY ONCOR; AUTHORIZING HIRING OF LEGAL COUNSEL; FINDING THAT THE CITY'S REASONABLE RATE CASE EXPENSES SHALL BE REIMBURSED BY THE COMPANY; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL.

WHEREAS, the City of White Settlement, Texas ("City") is an electric utility customer of Oncor Electric Delivery Company LLC. ("Oncor" or "Company"), and a regulatory authority with an interest in the rates and charges of Oncor; and

WHEREAS, the City is a member of the Steering Committee of Cities Served by Oncor ("OCSC"), a membership of similarly situated cities served by Oncor that have joined together to efficiently and cost effectively review and respond to electric issues affecting rates charged in Oncor's service area; and

WHEREAS, on or about June 29, 2023, Oncor filed with the City an Application to Amend its Distribution Cost Recovery Factor and Update Mobile Generation Riders, PUC Docket No. 55190, seeking to increase electric distribution rates by approximately \$152.78 million and update Oncor's Rider Mobile Generation and Rider Wholesale Mobile Generation to recover \$1.07 million related to mobile generation facilities; and

WHEREAS, all electric utility customers residing in the City will be impacted by this ratemaking proceeding if it is granted; and

WHEREAS, OCSC is coordinating its review of Oncor's DCRF filing with designated attorneys and consultants to resolve issues in the Company's application; and

WHEREAS, OCSC members and attorneys recommend that members deny the DCRF.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WHITE SETTLEMENT, TEXAS:

Section 1. That the City is authorized to participate with Cities in PUC Docket No. 55190.

Section 2. That subject to the right to terminate employment at any time, the City hereby authorizes the hiring of the law firm of Lloyd Gosselink and consultants to negotiate with the Company, make recommendations to the City regarding reasonable rates, and to direct any necessary administrative proceedings or court litigation associated with an appeal of this application filed with the PUC.

Section 3. That the rates proposed by Oncor to be recovered through its DCRF charged to customers located within the City limits, are hereby found to be unreasonable and shall be denied.

Section 4. That the Company shall continue to charge its existing rates to customers within the City.

Section 5. That the City's reasonable rate case expenses shall be reimbursed in full by Oncor within 30 days of presentation of an invoice to Oncor.

Section 6. That it is hereby officially found and determined that the meeting at which this Resolution is passed is open to the public as required by law and the public notice of the time, place, and purpose of said meeting was given as required.

Section 7. That a copy of this Resolution shall be sent to J. Michael Sherburne, Vice President – Regulatory, Oncor Electric Delivery Company LLC, 1616 Woodall Rodgers Freeway, Dallas, Texas 75202; to Tab R. Urbantke, Hunton Andrews Kurth LLP, 1445 Ross Avenue, Suite 3700, Dallas, Texas 75202; and to Thomas L. Brocato, General Counsel to OCSC, at Lloyd Gosselink Rochelle & Townsend, 816 Congress Ave., Suite 1900, Austin, Texas 78701.

PASSED AND APPROVED this 1ST day of August, 2023.

Faron Young, Mayor

ATTEST:

Amy Arnold, City Secretary

APPROVED AS TO FORM:

James Donovan, City Attorney



To: City Council
From: Robert Nunley Building Official
Date: August 1, 2023

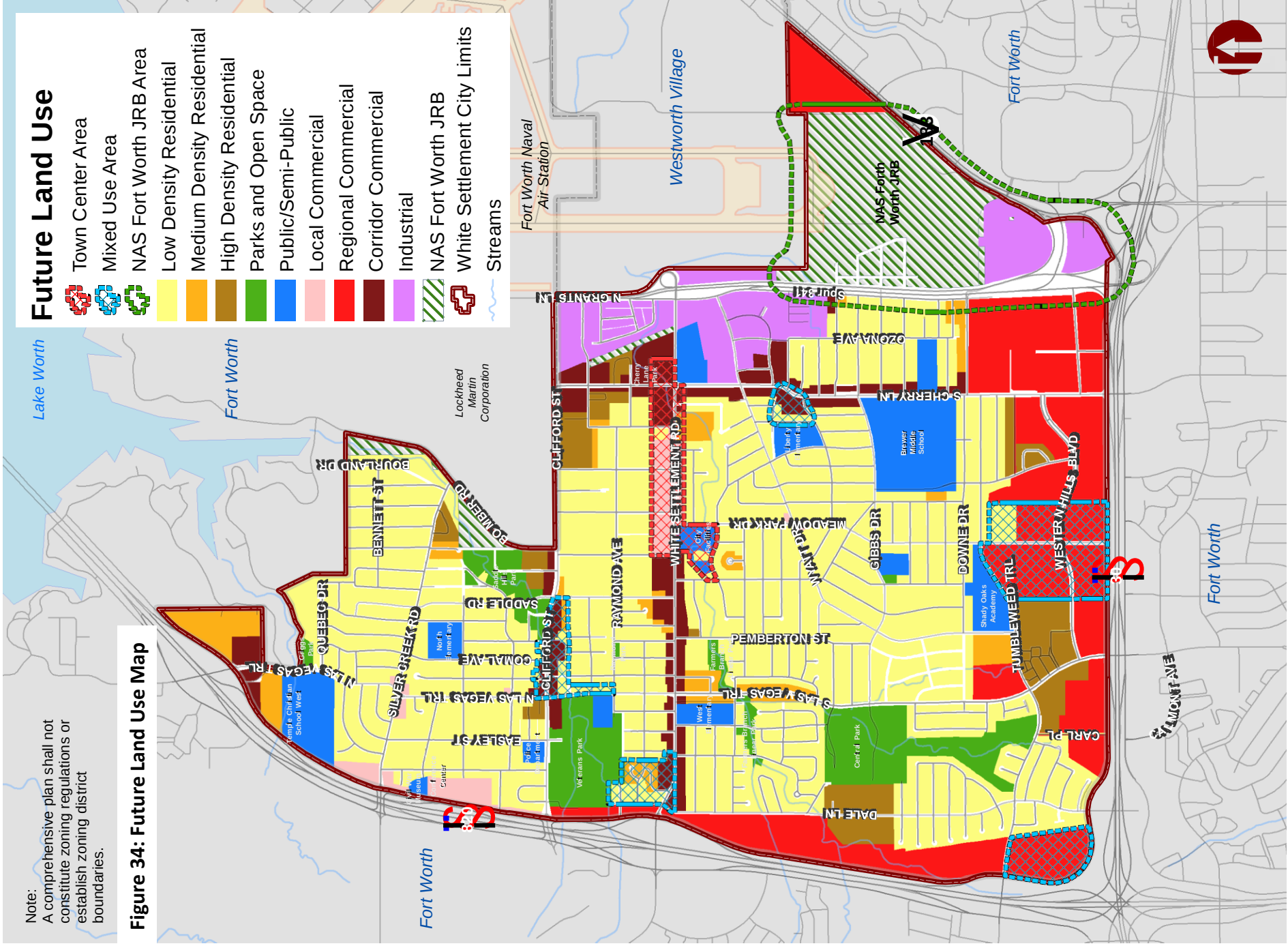
Staff has received an application to rezone the property located at 730 S Cherry Lane. The applicant seeks to develop the property for single-family residential homes, which requires amending the 2040 Comprehensive Land Use Plan from its current designation of Regional Commercial with a Mixed-Use Area to Low-Density Residential.

Staff's recommendation is to approve the request to amend the 2040 Comprehensive Land Use Plan.

On May 9th, The Planning and Zoning Commission heard the item and recommended approval.

Note:
A comprehensive plan shall not
constitute zoning regulations or
establish zoning district
boundaries.

Figure 34: Future Land Use Map





The following are general descriptions of each of the land use categories portrayed on the Future Land Use Map shown in **Figure 34**.

Low-Density Residential

Single-family detached residential structures are examples of low-density residential uses. This category refers to single-family areas with densities similar to the majority of White Settlement's current neighborhoods. In terms of development density, approximately two to four dwelling units per acre are appropriate for this category. Typically, lot sizes are at least 6,000 square feet and currently range between 7,000 and 7,500 square feet. The low-density residential land use category should not be utilized for nonresidential uses, except for parks, places of worship, schools and civic uses.

Regional Commercial

The regional commercial land use category is intended for nonresidential activities that aim to meet the needs of both local and regional residents. Regional commercial uses are planned along major arterials that provide convenient access to the freeway network and capture regional traffic volumes from IH 30, IH 820 and SH 183. Such roadways include Westpoint Boulevard, Tumbleweed Trail, Western Hills Boulevard, and the southern portion of Cherry Lane near IH 30. These areas are conducive to retail and commercial uses that rely on high traffic volumes. A retail center would be suitable in this land use designation that includes a combination of larger box stores, medium box stores and associated pad sites for uses, such as restaurants and retailers. Banks, hotels and other highway-related commercial services are also appropriate within the land use type. Site design should typically accommodate larger scale buildings. Development in this area should be well coordinated, including landscaping, site amenities, and shared access and signage where appropriate. Regional retail shopping centers should receive high priority within this category. Retail establishments help to generate sales tax for the community that can be used to provide higher level services for residents.

Mixed-Use Area

Areas with this land use designation are intended for a mixture of nonresidential and residential land uses. They are referred to as mixed-use, because it is envisioned that these areas would be integrated developments of retail, public, office and entertainment, with a residential component. Mixed-use areas are intended to provide flexibility for the City and the development community for innovative, unique, and sustainable development to occur. Many of these areas could include housing choices suitable for seniors or younger generations. Walkable connections to shopping and dining should be key components of any mixed-use area. Mixed-use design should be oriented around the pedestrian. Buildings should be placed near the front property line and should be oriented towards the street. The Mixed-Use Overlay will be applied in small pockets. There are two types of mixed-use – vertical and horizontal. Vertical mixed-use incorporates multiple uses in one building on different floors. For example, a building could have shops and dining on the first floor and residential and office on the remaining floors. Horizontal mixed-use combines single-use buildings in one area with a range of uses. The purpose of the Mixed-Use Overlay is to encourage vertical mixed-use rather than horizontal mixed-use. Mixed-use land use types should not be in any other areas of the City, but within the areas designated with the Mixed-Use Overlay. When a mixed-use development is proposed it should be situated in areas within the overlay boundary, comply with the mixed-use standards outlined in the City's development code and receive necessary approvals to ensure compliance with the intent of the mixed-use land use category.



To: City Council
From: Robert Nunley, Building Official
Date: August 1, 2023

Staff, has received an application requesting the property located at 730 S Cherry Lane to be rezoned from Commercial Corridor (C-C) to Planned Development (P-D). The property owner would develop the property for 14 residential homes and install water, sewer, roads, curb & gutter, sidewalks, and stormwater improvements.

The homes constructed would be a minimum of 1600 sq. ft. of livable space and a minimum footprint of 2000 sq. ft. The dwellings would consist of at least 80% masonry, not exceeding two stories, and a maximum height of 35 feet with 2 car garages.

The lots will range from 4,532 sq. ft. to 12,688 sq. ft. One lot will be dedicated to a detention pond maintained by an HOA, which will perform all maintenance and provide yearly reports to submit to the state. Included in the P-D, a 6-foot screening will be installed along the properties adjacent to Cherry Lane.

Staff and the city engineer have reviewed the P-D documents and recommend approval.

On May 9th, The Planning and Zoning Commission heard the item and recommended approval.

July 17, 2023

City of White Settlement
Attn: City Council

Re: Whitney Crossing, 3.01 acres at 730 Cherry Lane
Drainage Evaluation (without site detention facility)

Dear Sir/Madam:

I have attached a drainage study for the development of Whitney Crossing without on-site detention. The study evaluates the impact of this 3.01 acre residential development on the surrounding streets and storm drainage system.

Project History:

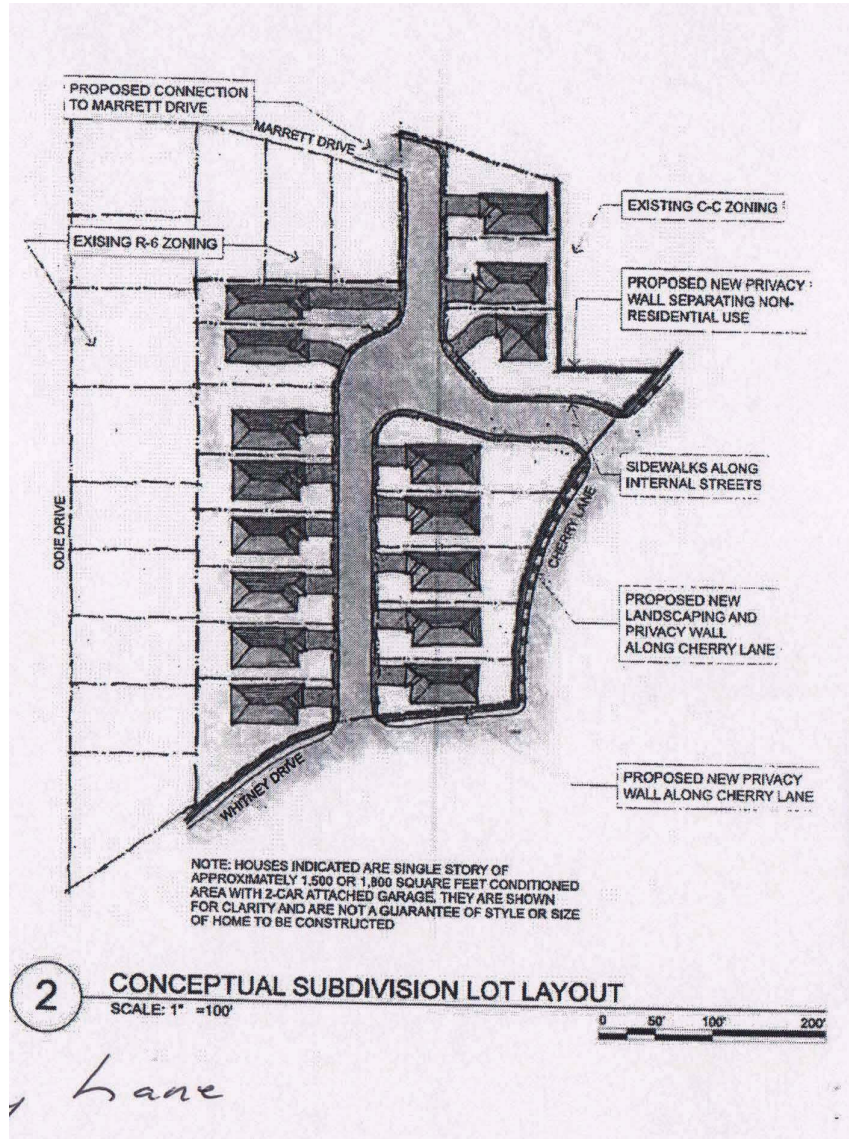
GRB Development (GRBD) was contacted by the City of White Settlement Economic Development Corporation (EDC) in late 2021 to discuss the redevelopment of this piece of property.

This property had been previously developed with a multi-family apartment complex that was a neighborhood nuisance (crime problem). The multi-family complex was demolished and the property purchased by the EDC.

This property is currently zoned commercial. The EDC marketed this property for redevelopment as a residential subdivision. The EDC contacted GRBD based on GRBD's previous development of in-fill parcels within the City of White Settlement. GRBD successfully developed the Wilson Cliff subdivision in 2016 (42 residential lots at White Settlement Road and Wilson Cliff Drive) and developed the final phases of Saddle Hills in 2020 (38 residential lots at Silver Creek Road and Vaquero Street). These subdivisions have concrete streets and have been developed with quality residential construction.

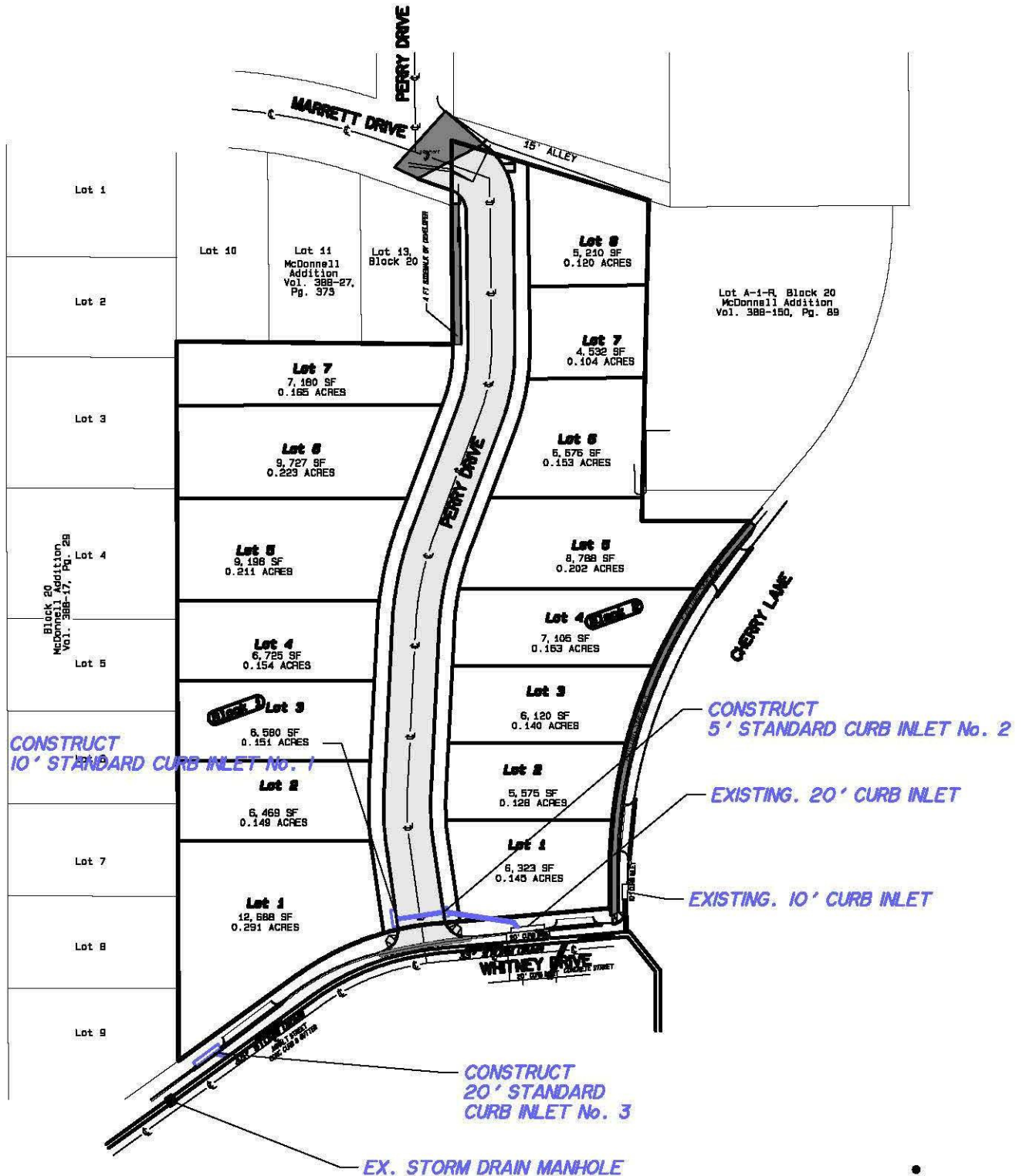
GRBD anticipated a similar development project for Whitney Crossing. The EDC supplied GRBD with a Concept Plan for developing this property with 16 lots (see attached copy next page). The EDC's Concept Plan include a street connection to Cherry Lane. The EDC and City attorney included deed restrictions with the sale of this property to GRBD in 2022 which mandate the development of this site with residential lots with performance standards for the home construction.

EDC supplied Concept Plan:



GRBD used this Concept Plan as the basis for developing a lot plan to replat this property into a residential subdivision (see plan next page). GRBD presented a 15 lot plan with less street (deleted connection to Cherry Lane). This plan received support from City staff. This lot plan represents a slightly lower density than the EDC Concept Plan and will have a slightly lower drainage run-off.

GRBD Lot Plan:



Development Process:

The development of this site as residential subdivision requires a zone change from commercial to residential.

The irregular geometry of this site and the 40 feet wide overhead electric transmission easement requires some variances from a straight zoning case to develop successfully.

The current development plan is for the Planning & Zoning Commission (P&Z) consider then the City Council consider a Planned Development (PD) which sets the zoning per the lot dimensioning shown on the replat with the variances included in the PD zoning ordinance.

Staff indicated that consideration of the PD would required full review of the site civil construction plans. Plans were developed and reviewed over a one year period. GRBD presented a replat and full construction plans for consideration by the P&Z and City Council. City Council tabled the case over objections to an onsite detention pond and the long term maintenance implications of maintaining a detention pond by an Home Owners Association (HOA) of only 14 lots.

GRBD's original plans for city review did not include site detention. The original plan proposed storm drainage improvements on-site and on the adjacent Whitney Drive. During the plan review process the lack of any City records for the construction documents for the streets and drainage for Whitney Drive and Cherry Lane pushed this project's site drainage design towards detention to ensure no down-stream increase in run-off. This summary of the drainage study will quantify the impacts of proceeding without detention.

Drainage Analysis:

The project involves the redevelopment of 3.01 acres from vacant commercial to residential. This redevelopment will increase drainage from the current site conditions (disregarding prior development). Staff directed the design engineer (Kellie Engineering) to consider the property as vacant for the purpose of computing the proposed increase in discharge (from vacant to residential development).

Subdisvision	Area	"C" Factor	T _c	I ₅	I ₂₅	Q ₂₅	I ₁₀₀	Q ₁₀₀
	(acres)		(min)	(in/hr)	(in/hr)	(cfs)	(in/hr)	(cfs)
pre-developed	3.01	0.30	15	4.86	6.46	5.8	7.98	7.2
developed	3.01	0.63	15	4.86	6.46	12.3	7.98	15.1
increase						6.4		7.9

Computed storm drainage run-off increases from the redevelopment of 3.01 acres are an additional 6.4 cubic feet per second (cfs) of storm water run-off in a 25 year storm event and an additional 7.9 cfs in a 100 year storm event.

A drainage study with drainage maps and computations is attached. The drainage criteria are the current City design standards, the streets and drainage systems in this watershed were designed under earlier design criteria. All of the streets are shown to have inadequate drainage capacity under current design criteria.

Drainage Summary:

Design Point 3: (Whitney Drive upstream of project).

Drainage exceeds street capacity.

Drainage from proposed subdivision = 0.

Proposed drainage improvement – add additional drainage collection capacity in Whitney Road. Build a 20' curb inlet.

At subdivision:

Proposed drainage improvements – add 15' of curb inlet, reduction in run-off from site to surrounding streets. Drainage goes directly to storm drain pipe system.

Design Point 7: (Cherry Lane)

Immediately downstream of project.

Area draining to this point = 37.3 acres watershed (subdivision is 3.01 acres, only 8% of watershed).

Total 100 year storm event drainage computed flow = 188.6 cfs (increase from subdivision is 7.9 cfs which is a 4.1% increase for watershed).

The addition of 35 linear feet of curb inlet will improve roadway conditions under normal storm events (10 year storm events or less). More water will be directed to the pipe system taking water off the streets. This covers almost all storm events in any given year. In maximum storm events there is a computed 4.1% increase in drainage. There are no documented drainage problems in this watershed under normal conditions.

Kellie Engineering is confident the proposed drainage improvements are adequate and proportional to the development of this 3.01 acre residential project.

Sincerely,
Kellie Engineering, Inc.
F-7585

Edward Kellie



Edward T. Kellie, P.E.

Attached: Drainage Study

Job 2242



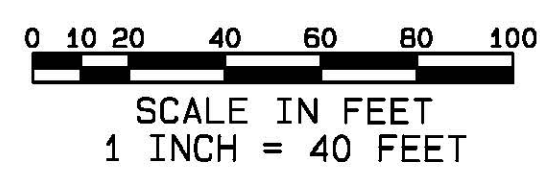
- CONSTRUCT
5' STANDARD CURB INLET No. 2

— EXISTING. 20' CURB INLET

- EXISTING. 10' CURB INLET

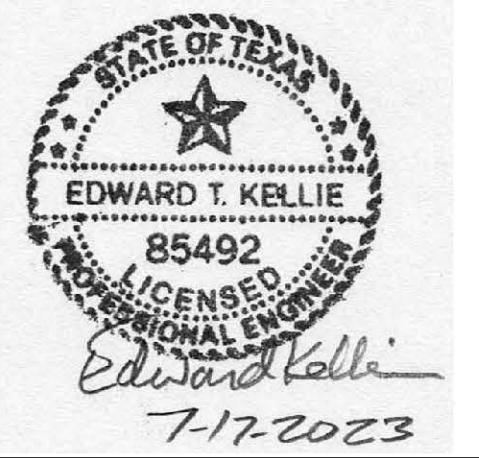
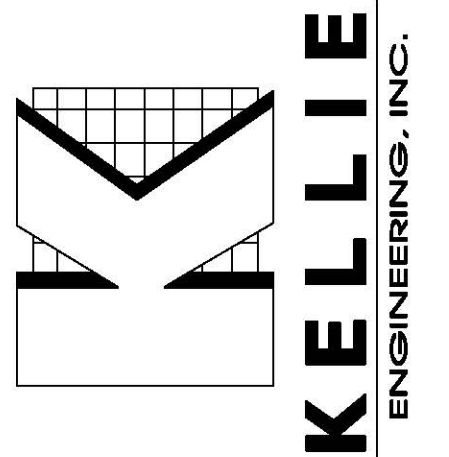
CONSTRUCT
20' STANDARD
CURB INLET No. 3

EX. STORM DRAIN MANHOLE



DRAINAGE STUDY
WHITNEY CROSSING
15 Lots, 3.086 Acres
Cherry Lane
White Settlement, Tarrant County

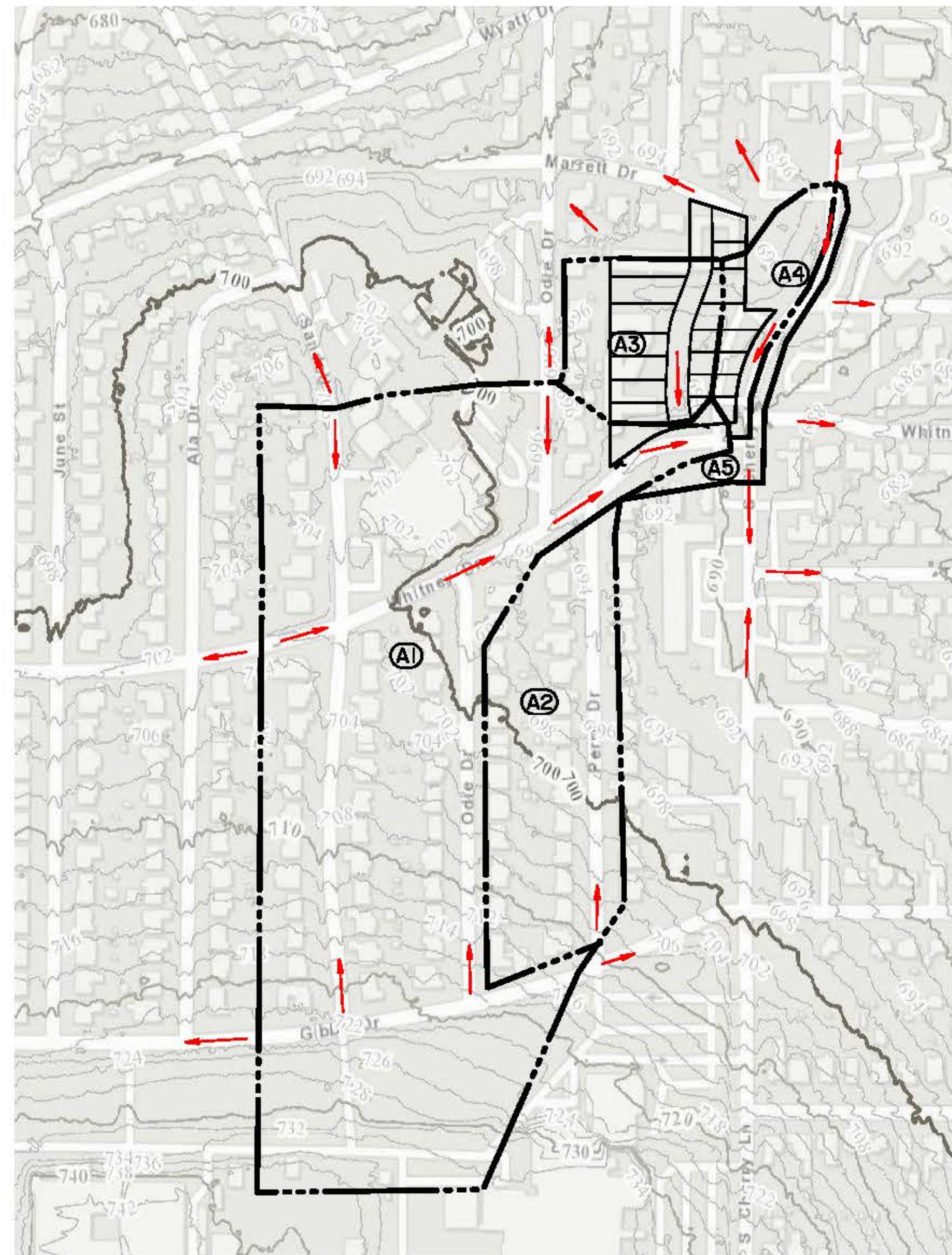
P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kellie-engineering.com



Issued:		
July 17, 2023		
Revisions		
No.	Date	Description
Project No. : 2242		
Scale : REFER TO PLAN		
SHEET TITLE:		
STREET DRAINAGE STUDY		
SHEET:		
1 OF 3		



AREA DRAINAGE STUDY MAP



0 100 200 400 600
SCALE IN FEET
1 INCH = 200 FEET

AREA DRAINAGE STUDY

Area	Area (acres)	"C" Factor	T _c (min)	I ₅ (in/hr)	Q ₅ (cfs)	I ₁₀ (in/hr)	Q ₁₀ (cfs)	I ₂₅ (in/hr)	Q ₂₅ (cfs)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Comments
A-1	24.9	0.63	15	4.86	76.2	5.53	86.7	6.46	101.3	7.98	125.2	To inlets 1, 3, and 4 Whitney Road
A-2	6.2	0.63	15	4.86	19.0	5.53	21.6	6.46	25.2	7.98	31.2	To inlet 2, Perry Drive
A-3	3.7	0.63	15	4.86	11.3	5.53	12.9	6.46	15.1	7.98	18.6	To new inlets 5 & 6 new construction Perry Drive
A-4	1.7	0.63	15	4.86	5.2	5.53	5.9	6.46	6.9	7.98	8.5	To inlet 7 Cherry Lane
A-5	0.8	0.80	15	4.86	3.1	5.53	3.5	6.46	4.1	7.98	5.1	Add'l area draining to design point 7

LAND USE IS SINGLE FAMILY RESIDENTIAL

Calculation determined by using the Rational Method $Q=CIA$.

C=0.63 for residential areas (suitable composite C for entire basin)

Rainfall Intensities determined from NCTCOG ISWM Technical Manual, Table 5.15 Tarrant County. T_c = 15 minutes for residential development.

DRAINAGE DESIGN POINTS

DESIGN POINT 1 (UPSTREAM OF SITE)

WHITNEY DRIVE (street grade -1.75%)

DRAINAGE AREA A1

Q₂₅ = 101.3 CFS, Q₁₀₀ = 125.2 CFS

Street Capacity (25 yr design) = 43.5 CFS (OVERLOADED)

R.O.W. Capacity (100 yr design) = 63.4 CFS (OVERLOADED)

DESIGN POINT 2 (UPSTREAM OF SITE)

PERRY DRIVE (street grade -0.75%)

DRAINAGE AREA A2

Q₂₅ = 25.2 CFS, Q₁₀₀ = 31.2 CFS

Street Capacity (25 yr design) = 28.5 CFS (ADEQUATE)

R.O.W. Capacity (100 yr design) = 41.5 CFS (ADEQUATE)

DESIGN POINT 3 (UPSTREAM CORNER OF SITE)

WHITNEY DRIVE (street grade -0.75%)

DRAINAGE AREA A1+A2

Q₂₅ = 126.5 CFS, Q₁₀₀ = 156.4 CFS

EX. 40 LF OF INLETS

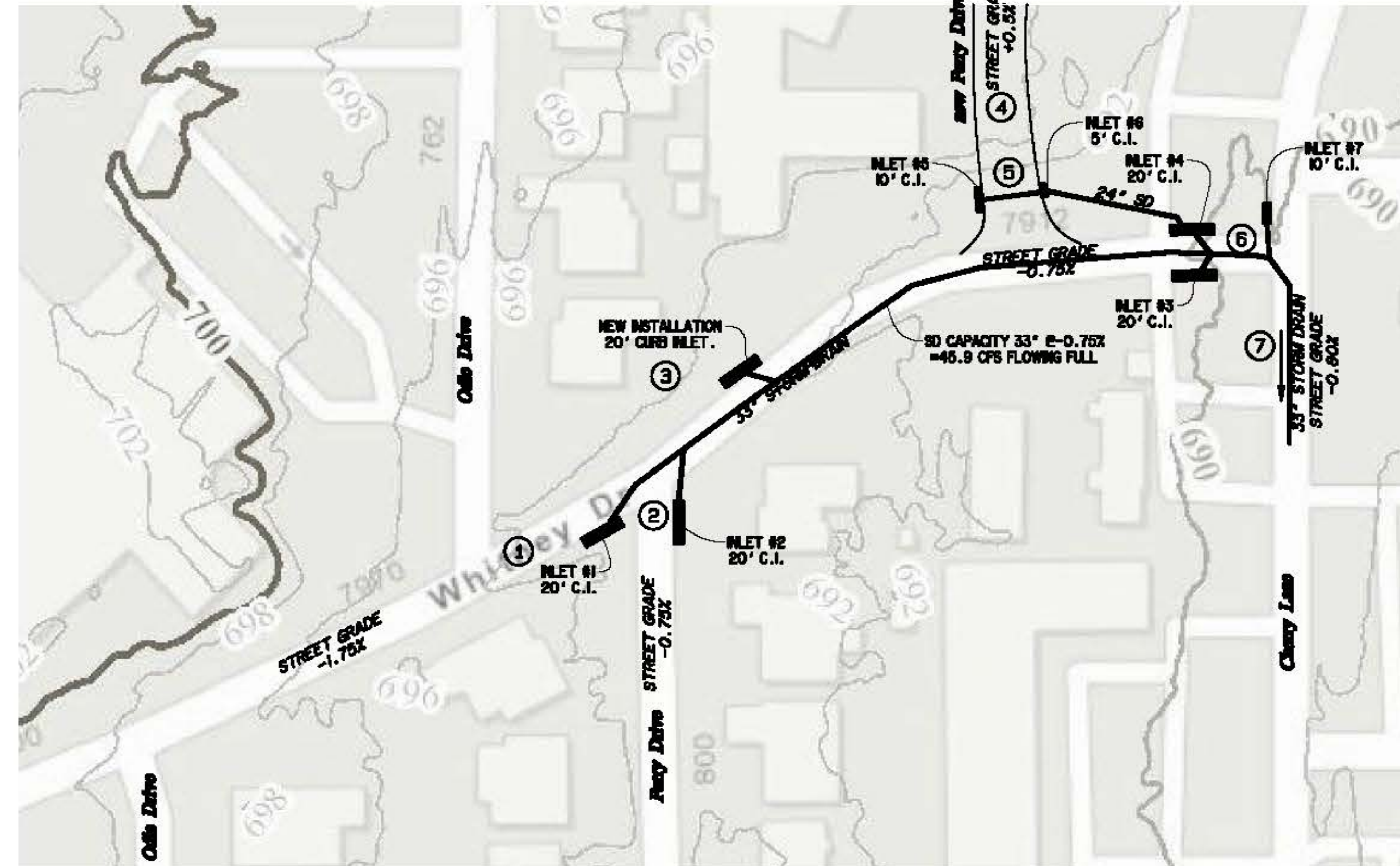
ADDITIONAL 20 LF OF INLET ADDED TO COLLECT N. SIDE OF RIGHT OF WAY TO COMPENSATE FOR ADDITIONAL DISCHARGE FROM DEVELOPMENT OF WHITNEY CROSSING.

AT 0.75 CFS/LF CAPTURE, PIPE FLOW = 45 CFS PIPE FLOW (both 25 yr and 100 yr)

25 yr STREET FLOW = 63.1, Q₂₅ Street Capacity (25 yr design) = 28.5 CFS (OVERLOADED)

100 YR STREET FLOW = 116.7 CFS, R.O.W. Capacity (100 yr design) = 41.5 CFS (OVERLOADED)

DRAINAGE SYSTEM MAP



0 25 50 100 150
SCALE IN FEET
1 INCH = 50 FEET

DESIGN POINT 4

new PERRY DRIVE (street grade -0.5%)

DRAINAGE AREA A3

Q₂₅ = 15.1 CFS, Q₁₀₀ = 18.6 CFS

Street Capacity (25 yr design) = 23.3 CFS (ADEQUATE)

R.O.W. Capacity (100 yr design) = 33.8 CFS (ADEQUATE)

DESIGN POINT 5

new PERRY DRIVE (street grade -0.5%)

DRAINAGE AREA A3

Q₂₅ Inlet capture = 12.7 CFS, bypass = 2.4 CFS

Q₁₀₀ Inlet capture = 14.0 CFS, bypass = 4.6 CFS

DESIGN POINT 6

WHITNEY DRIVE (E. OF INLETS) (street grade -0.75%)

DRAINAGE AREA A1+A2+A3+BYPASS

STORM DRAIN AT CAPACITY = 45.9 CFS PIPE FLOW (both 25 yr and 100 yr)

25 yr STREET FLOW = 63.1, Q₂₅ Street Capacity (25 yr design) = 28.5 CFS (OVERLOADED)

100 YR STREET FLOW = 116.7 CFS, R.O.W. Capacity (100 yr design) = 41.5 CFS (OVERLOADED)

DESIGN POINT 7 (DOWNSTREAM OF PROJECT)

WHITNEY DRIVE (E. OF INLETS) (street grade -0.75%)

DRAINAGE AREA A1+A2+A3+BYPASS+A4+A5

STORM DRAIN AT CAPACITY = 45.9 CFS PIPE FLOW (both 25 yr and 100 yr)

25 yr STREET FLOW = 64.1, Q₂₅ Street Capacity (25 yr design) = 60.4 CFS (OVERLOADED)

100 YR STREET FLOW = 132.3 CFS, R.O.W. Capacity (100 yr design) = 111.8 CFS (OVERLOADED)

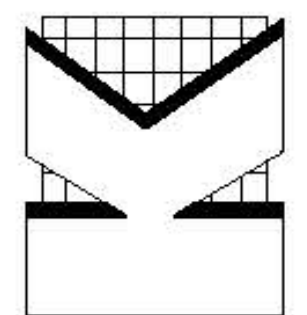
DRAINAGE STUDY WHITNEY CROSSING

15 Lots, 3.086 Acres

Cherry Lane
White Settlement, Tarrant County

P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585

www.kellie-engineering.com

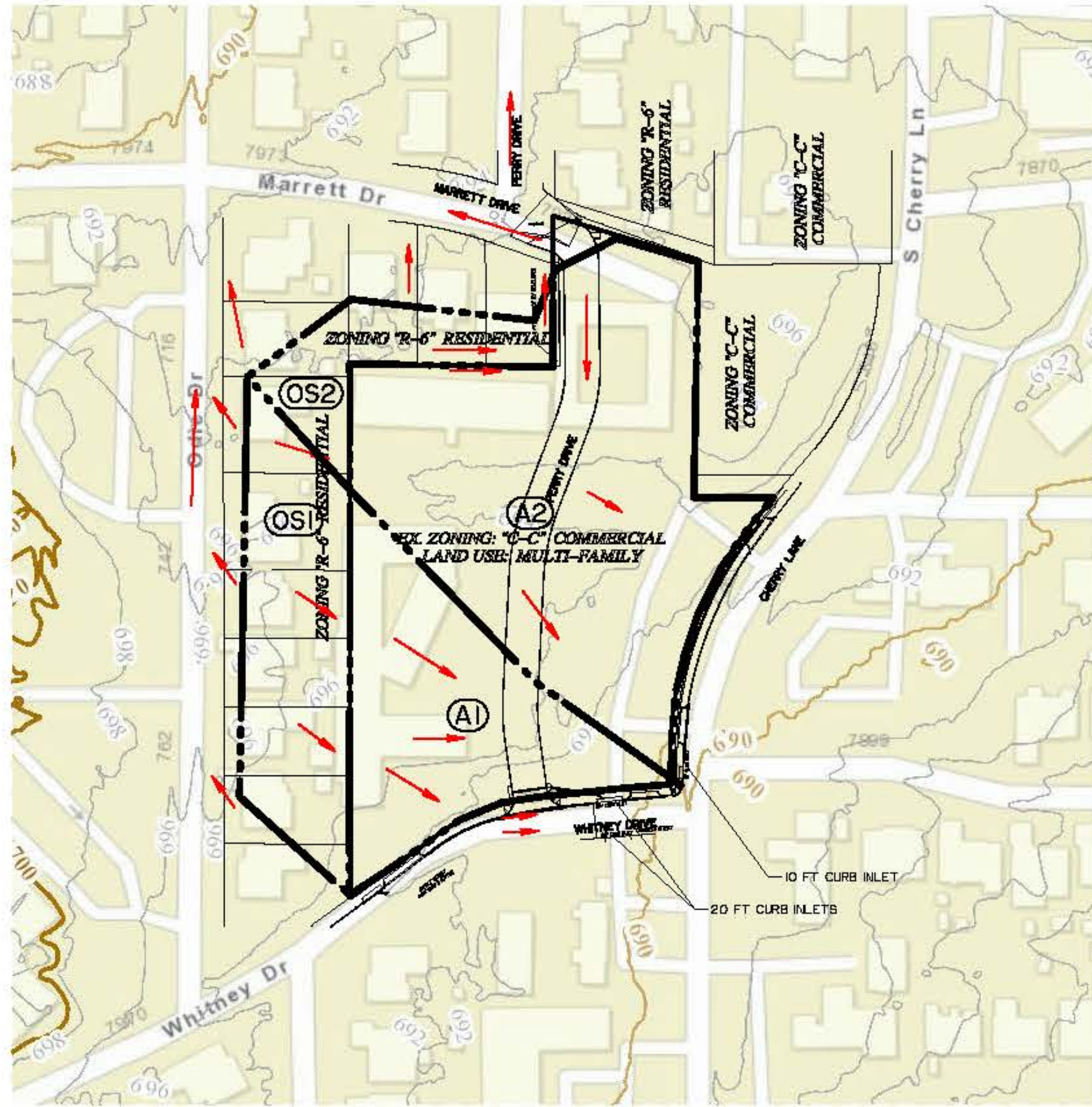


KELLIE
ENGINEERING, INC.

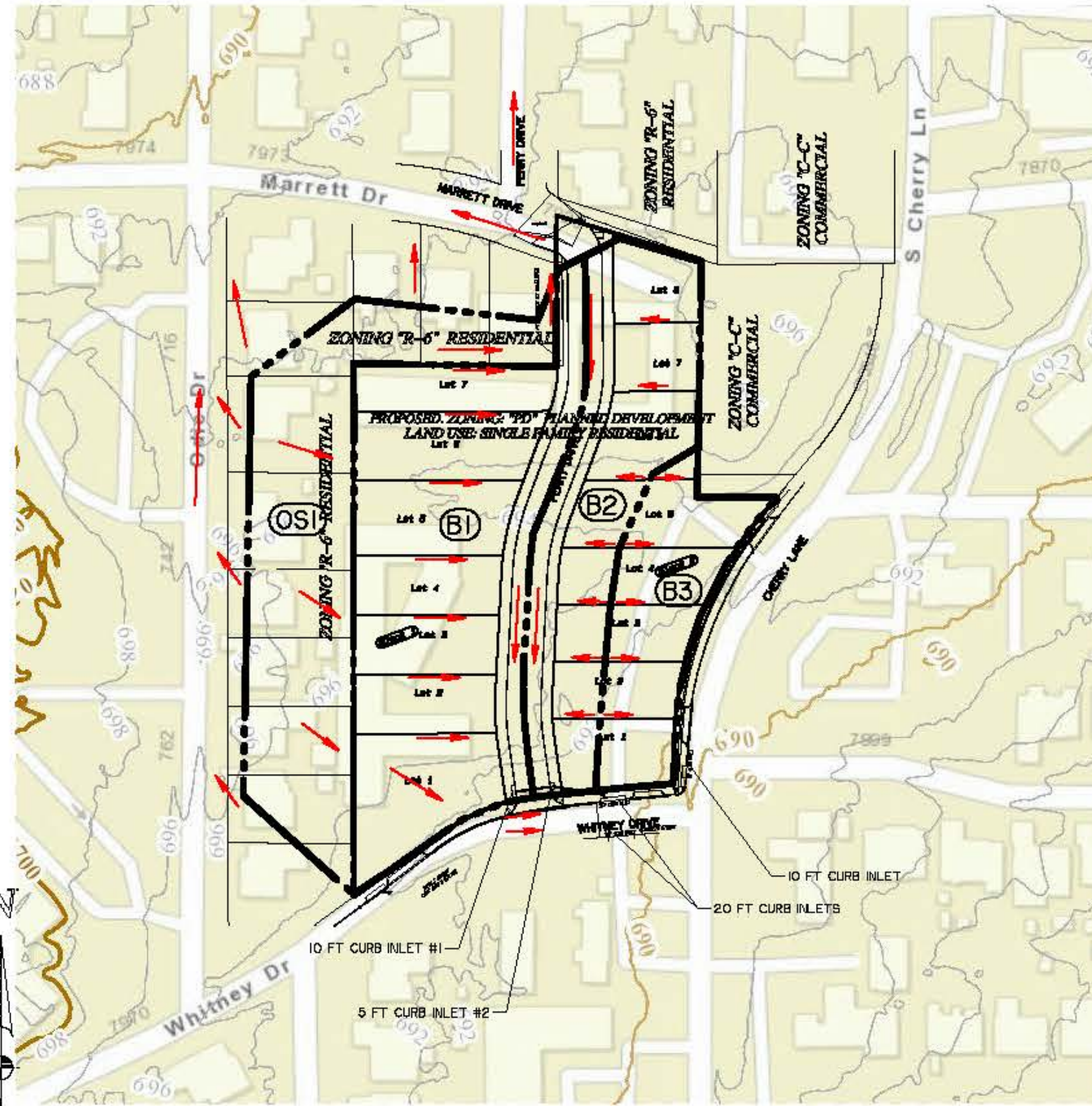


Issued: July 17, 2023	
Revisions:	
No.	Description
Project No. : 2242	
Scale: REFER TO PLAN	
DATE PLOTTED:	
STREET DRAINAGE STUDY	
2 OF 3	

ORIGINAL CONDITIONS - DRAINAGE AREA MAP



PROPOSED CONDITIONS - DRAINAGE AREA MAP



LEGEND

- (A) DRAINAGE AREA DESIGNATION
- DRAINAGE DIVIDE
- 633--- EXISTING CONTOUR
- FLOW DIRECTION

0 50 100 200 300
SCALE IN FEET
1 INCH = 100 FEET

ORIGINAL CONDITIONS - DEVELOPED DRAINAGE CALCULATIONS

Area	Area (acres)	"C" Factor	T _c (min)	I ₅ (in/hr)	Q ₅ (cfs)	I ₁₀ (in/hr)	Q ₁₀ (cfs)	I ₂₅ (in/hr)	Q ₂₅ (cfs)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Comments
OS-1	0.80	0.63	15	4.86	2.4	5.53	2.8	6.46	3.3	7.98	4.0	Offsite area drains through site to Whitney Drive
OS-2	0.40	0.63	15	4.86	1.2	5.53	1.4	6.46	1.6	7.98	2.0	Offsite area drains through site to 10' inlet - Cherry Lane.
A-1	0.95	0.35	15	4.86	1.6	5.53	1.8	6.46	2.1	7.98	2.7	Onsite area drains south to Whitney Drive.
A-2	2.10	0.35	15	4.86	3.6	5.53	4.1	6.46	4.7	7.98	5.9	Onsite area drains east to 10' inlet - Cherry Lane.
					8.9		10.1		11.8		14.6	

PROPOSED CONDITIONS - DEVELOPED DRAINAGE CALCULATIONS

Area	Area (acres)	"C" Factor	T _c (min)	I ₅ (in/hr)	Q ₅ (cfs)	I ₁₀ (in/hr)	Q ₁₀ (cfs)	I ₂₅ (in/hr)	Q ₂₅ (cfs)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Comments
OS-1	1.15	0.63	15	4.86	3.5	5.53	4.0	6.46	4.7	7.98	5.8	Offsite area drains through site to new street - Perry Drive to Inlet No. 1
B-1	1.65	0.63	15	4.86	5.1	5.53	5.7	6.46	6.7	7.98	8.3	Onsite area drains south in new street - Perry Drive to Inlet No. 1
B-2	0.90	0.63	15	4.86	2.8	5.53	3.1	6.46	3.7	7.98	4.5	Onsite area drains south in new street - Perry Drive to Inlet No. 2
B-3	0.50	0.63	15	4.86	1.5	5.53	1.7	6.46	2.0	7.98	2.5	Onsite area drains east to 10' inlet - Cherry Lane.
					12.9		14.6		17.1		21.1	

20' CURB INLET ADDED IN WHITNEY ROAD FOR ADDITIONAL CAPACITY TO COMPENSATE FOR INCREASE IN RUN-OFF FROM SITE

PROPOSED LAND USE IS SINGLE FAMILY RESIDENTIAL

Calculation determined by using the Rational Method Q=CIA.

C=0.63 for residential areas, C=0.77 for multifamily areas

Rainfall Intensities determined from NCTCOG ISWM Technical Manual, Table 5.15 Tarrant County, T_c = 15 minutes for residential development.

City of Fort Worth Stormwater Criteria Manual

Table 3.5 Runoff Coefficients

Description of Land Use	% Impervious	Runoff Coefficient "C"
Residential "A-43" one-acre lots (1) (2)	35	0.51
Residential "A-21" half-acre lots	37	0.52
Residential "A-10" 10,000 SF lots	49	0.59
Residential "A-7.5" (3)	55	0.63
Residential "A-5" (3)	61	0.67
Residential "MH", "A-R", "B", "R-1", & "R-2" (3)	65	0.69
Multi-family		
"CR"	64	0.69
"C"	79	0.77
"D"	93	0.86
Commercial/Industrial/House of Worship/School		
4% Open Space (Default if no site plan)	96	0.88
10% Open Space (Site plan required)	90	0.84
20% Open Space (Site plan required)	80	0.78
Parks, Cemeteries	7	0.34
Railroad Yard Areas	29	0.47
Streets: Asphalt, Concrete and Brick	100	0.90
Drives, Walks, and Roofs	100	0.90
Gravel Areas	43	0.56
Unimproved Areas	0	0.30

Assumptions:

(1) For Residential Calculations:

- Current CFM development standards for minimum lot size and maximum lot coverage (structure) for each classification

- Assumed 10.5' Parkway and 18' driveway

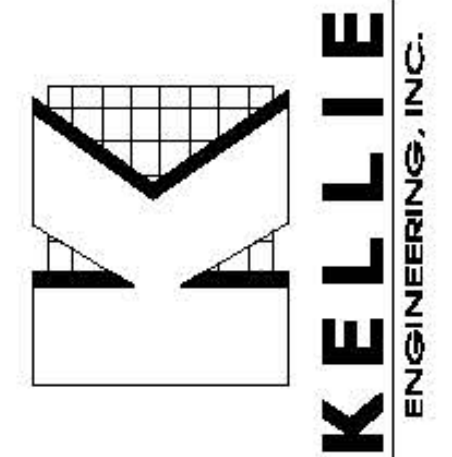
- Assumed 29' B-B street dimension

- Calculated by applying 90% runoff from impervious areas and 30% runoff from pervious areas

(2) Calculated from designated set-backs

DRAINAGE STUDY
WHITNEY CROSSING
15 Lots, 3.086 Acres
Cherry Lane
White Settlement, Tarrant County

P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kellie-engineering.com



Issued:		July 17, 2023	
Revisions			
No.	Date	Description	
Project No. :		2242	

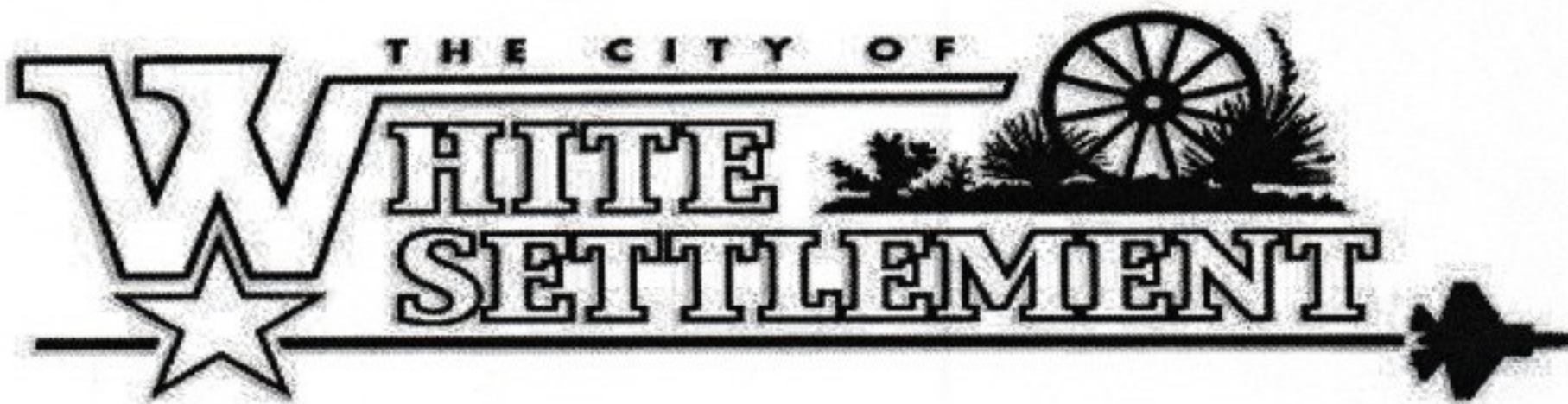
Scale: REFER TO PLAN

SHEET TITLE:

DRAINAGE AREA
MAPS

SHEET:

3 OF 3



APPLICATION FOR ZONING CHANGE/DEVELOPMENT PLAN APPROVAL/SPECIFIC USE PERMIT

Please check the appropriate box below to indicate the type of request you are making and provide all information required to process your request.

☒ Zoning Change ☐ Development Plan Approval ☐ Specific Use Permit

☒ Plat

NOTE: Failure to obtain final approval on this case within six months may constitute denial or withdrawal of this case by City Council or Staff without refund of fees.

REQUEST INFORMATION : _____

Location: 730 S. Chetty Lane
Subdivision McDonnell Addition Lot No. 12 + portion of A Block No. 20 Size of Request 3.04 ± 12
Existing Zoning C-C Commercial Requested Zoning/Use PO

*A metes and bounds description must be attached if the request is for;

(A) a portion of a platted lot or (B) not a platted lot.

APPLICANT/OWNER INFORMATION: GAB Development LLC

Key Contact Glen Burda Telephone No. 817-991-8581 Fax No. _____

City Southlake State TX Zip 76092

Contact's Status Check one ☒ Owner ☐ Representative

☐ Tenant ☐ Prospective Buyer

The owner's signature is required on this application

This is to certify that; I/We the undersigned, am/are the sole owner(s) of the property described above on the date of this application.

Owner (please print) Glen Burda Signature Glen B Burda

Address 2795 Johnson Rd Telephone No. 817-991-8581

City Southlake State TX Zip Code 76092

Corporation/Partnership /Owner GAB Development LLC

Address 2795 Johnson Rd Telephone No. 817-991-8581 Fax No. _____

City Southlake State TX Zip Code 76092

FOR OFFICE USE ONLY:

Case No: _____ Fee: _____ Date: _____ P&Z Hearing: _____

Zoning Map: _____ Tax Map: _____ Traffic Study Waiver: _____

Drainage Study Waiver Date: _____

ORDINANCE NO. 2023-08-013-14

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF WHITE SETTLEMENT, BY REZONING A 3.08-ACRE TRACT OF LAND AND BEING ALL OF LOT 12, AND A PORTION OF LOT "A", BLOCK 20, MCDONNELL ADDITION, AN ADDITION TO THE CITY OF WHITE SETTLEMENT, TARRANT COUNTY, TEXAS FROM "C-C" COMMERCIAL CORRIDOR DISTRICT TO "P-D" PLANNED DEVELOPMENT; PROVIDING FOR THE AMENDMENT OF THE OFFICIAL ZONING MAP TO REFLECT SUCH CHANGES; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A PENALTY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE, PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of White Settlement, Texas, is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5, of the Texas Constitution and Chapter 9 of the Local Government; and

WHEREAS, pursuant to Chapter 211 of the Local Government Code, the City has adopted a comprehensive zoning ordinance and map regulating the location and use of buildings, other structures and land for business, industrial, residential or other purposes, and providing for a method to amend said ordinance and map for the purpose of promoting the public health, safety, morals and general welfare, all in accordance with a comprehensive plan; and

WHEREAS, a change in the zoning of the properties listed below was requested by persons or entities having a proprietary interest in those properties; and

WHEREAS, a public hearing was at a meeting of the Planning and Zoning Commission on June 29, 2022, and the City Council on July 25, 2022, with respect to the proposed use changes described herein; and

WHEREAS, all requirements of law dealing with notice to other property owners, publication and all procedural requirements have been complied with in accordance with the comprehensive zoning ordinance and chapter 211 of the Local Government Code; and

WHEREAS, the City Council of the City of White Settlement, Texas, does hereby deem it advisable and in the public interest to amend the Zoning Ordinance, as amended, as described herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WHITE SETTLEMENT, TEXAS;

**SECTION 1
PROPERTY RE-ZONED**

The Zoning Ordinance of the City of White Settlement, as amended, is hereby amended by rezoning the following property from "C-C" Commercial Corridor District to "P-D" Planned Development District:

A 3.08-acre tract of land and being all of Lot 12, and a portion of Lot "A", Block 20, McDonnell Addition, an addition to the City of White Settlement, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-17, Page 29, Plat Records, Tarrant County, Texas (P.R.T.C.T.), and being more particularly described on the attached Exhibit "A";

with the uses permitted and regulations as set forth in Section 3 of this Ordinance.

SECTION 2 DIRECTION TO AMEND THE OFFICIAL ZONING MAP

The City Secretary is hereby directed to amend the official zoning map to reflect the changes in uses approved herein.

SECTION 3 PROPERTY SUBJECT TO ZONING ORDINANCE

The use of the properties hereinabove described shall be subject to all the applicable regulations contained in the Zoning Ordinance and all other applicable and pertinent ordinances of the City of White Settlement, Texas. The Planned Development District created herein affecting above-referenced properties shall be specifically subject to the regulations applicable to the "R-6" single family residential district, except and in addition to the specific following regulations:

- A. All properties are to be single family structure not exceeding 2 stories in height.
- B. All structures including accessory buildings, must conform to the Code of Ordinances, City of White Settlement, Texas.
- C. Exterior wall construction of the single-family Dwellings must conform to the following restrictions and requirements: Exterior walls on each story shall consist of at least 80 percent masonry (brick or stone), exclusive of the following; windows, doors, dormers, and gables over the entrance of an extended garage.
- D. Any rear wall first or second story crossing the building or easement line is prohibited.
- E. Any side wall first or second story crossing over the building or easement line is prohibited.
- F. Any rear multistory straight wall with an exterior surface construction that is in excess of 70 percent glass or windows is prohibited.
- G. Any wall area above a first-floor roof where the exterior masonry veneer cannot directly bear upon the foundation (for example, wall area above an attached garage), is permitted to not be masonry.
- H. No single-family dwelling may be constructed on any portion of the property unless a solid masonry screening wall of 6' in height is erected inside the property line separating the property from Cherry Lane, save for any areas of street or right of way which intersect with Cherry Lane.
- I. The 6' masonry fence shall be built on the private property and to be considered the rear fence. Ownership and maintenance shall be the property owner's responsibility. The city will bear no responsibility for repair or maintenance.

- J. No structure or part of a structure will be constructed inside any easement.
- K. Lot design standards:
 - a. Minimum lot area of 4,530 square feet.
 - b. Minimum lot width of 39 feet.
 - c. Minimum lot depth of 75 feet.
 - d. Minimum front building line of 20 feet.
 - e. All lots have a minimum interior side yard setback of 5 feet.
 - f. All corner lots have a minimum street side yard of 15 feet.
 - g. Minimum rear building line of 15 feet.
 - h. Maximum building height of 35 feet.
 - i. Maximum lot coverage will be 66% of gross lot footage.
 - j. Minimum floor area of 1,600 square feet.
 - k. Each lot will accommodate a 2-car garage and 2 exterior off street parking space.
 - l. Each lot's front, side, and rear building lines; lot areas; and lot dimensions will be approved as shown on the Preliminary Plat that is a part of this PD application.
 - m. The lots shall average 7,260 square feet.
- L. All streets, parkways, and walkways are dedicated to the city for public use and for location of utilities.
- M. The 6-foot screening wall will be built from decorative face brick, with pilaster columns bearing on concrete footings. This screening wall will separate Whitney Crossing from Cherry Lane. Wall to be consistent height of 6 foot tall.
- N. Mandatory Home Owners Association is to be created for the purpose of mowing and maintaining the detention pond and common areas. The city has no responsibility in maintaining the detention pond. Developer and home builder shall bear responsibility for mowing and maintaining the detention pond until control of HOA is passed on to the home owners.
- O. Developer shall execute the approved Strom Water Facility Maintenance Agreement, attached hereto as Exhibit B of this ordinance.

SECTION 4 ORDINANCE CUMULATIVE

This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of White Settlement, Texas, as amended, except where the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

SECTION 5 PENALTY

Any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00) for each offense. Each day that a violation is permitted to exist shall constitute a separate offense.

SECTION 6
RESERVATION OF RIGHTS AND REMEDIES FOR ACCRUED VIOLATIONS

All rights and remedies of the City of White Settlement, Texas, are expressly saved as to any and all violations of the provisions of any ordinances governing zoning or land use that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

SECTION 7
SEVERABILITY

It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable, and if any section, paragraph, sentence, clause, or phrase of this Ordinance shall be declared invalid or unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such invalidity or unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clauses, and phrases of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such invalid or unconstitutional section, paragraph, sentence, clause or phrase.

SECTION 8
PUBLICATION

The City Secretary of the City of White Settlement, Texas, is hereby directed to publish this Ordinance in compliance with state law and the City's charter.

SECTION 9
EFFECTIVE DATE

This ordinance shall be in full force and effect from and after its passage and it is so ordained.

PASSED AND APPROVED THIS 1ST DAY OF AUGUST, 2023.

Faron Young, Mayor

ATTEST:

Amy Arnold, TRMC, CMC
City Secretary

APPROVED AS TO FORM:

James Donovan, City Attorney
TOASE

Exhibit A

BEING a 3.08-acre tract of land and being all of Lot 12, and a portion of Lot "A", Block 20, McDonnell Addition, an addition to the City of White Settlement, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-17, Page 29, Plat Records, Tarrant County, Texas (P.R.T.C.T.), and being more particularly described as follows:

Beginning at a 1-inch iron rod found for corner being the southwest corner of the herein described tract, same point being the southwest corner of said Lot 12, and being the southeast corner of Lot 9, Block 20, of said McDonnell addition, same point being in the north right-of-way line of Whitney Drive, a called fifty (50) foot right-of-way;

THENCE North 00 degrees 08 minutes 21 seconds West, a distance of 467.34 feet to a 1-inch iron rod found for corner being in the east line of Lot 2, Block 20 of said McDonnell Addition, same point being the southwest corner of Lot 10, Block 20 of said McDonnell Addition;

THENCE South 89 degrees 24 minutes 13 seconds East, a distance of 179.40 feet to a 1/2-inch iron rod with blue cap stamped "OLD TOWN SURVEYING" (OTS) set for corner being the southeast corner of Lot 13, Block 20, McDonnell Addition, an addition to the City of White Settlement, recorded in Volume 388-27, Page 373, P.R.T.C.T.;

THENCE North 00 degrees 41 minutes 28 seconds West, a distance of 90.08 feet to a 5/8-inch iron rod found for corner being the northeast corner of said Lot 13, same point being in the apparent south right-of-way line of Marrett Drive;

THENCE North 00 degrees 26 minutes 39 seconds East, a distance of 42.10 feet to a "PK" Nail set in asphalt for corner being from which a 5/8-inch iron rod found for the southwest corner of Lot 1, Block 7 McDonnell Addition, an addition to the City of White Settlement, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-6, Page 41, P.R.T.C.T. bears North 04 degrees 24 minutes 53 seconds East at 15.66 feet;

THENCE South 73 degrees 08 minutes 16 seconds East, with a south line of a fifteen (15) foot right of-way dedication for said Marrett Drive, a distance of 133.50 feet to a "Y" cut in concrete found for corner being the northwest corner of Lot A-1-R, Block 20, McDonnell Addition, and addition to the City of White Settlement, recorded in Volume 388-150, Page 89, P.R.T.C.T.;

THENCE South 01 degrees 10 minutes 18 seconds West, passing a 3/4-inch rod found for the southwest corner of said Lot A-1-R at 188.11 feet, and continuing for total distance of 208.12 feet to a 1/2-inch iron rod with blue cap stamped "OTS" set for corner;

THENCE South 89 degrees 38 minutes 26 seconds East, a distance of 69.75 feet to a 5/8-inch iron rod found for the corner being the west right-of-way line of S. Cherry Lane, a called eight (80) foot right-of-way;

THENCE South 39 degrees 59 minutes 39 seconds West, with the west right-of-way line of said S. Cherry Lane, a distance of 22.07 feet to a "PK" nail found in asphalt for corner being the beginning of a curve to the left having a radius of 326.60 feet;

THENCE with the west right-of-way line of said S. Cherry Lane, and with said curve to the left, through a central angle of 40 degrees 08 minutes 00 seconds, whose chord bears South 19 degrees 55 minutes 39 seconds West at 224.12 feet, as arc length of 228.77 feet to a 1/2-inch iron rod set for corner;

THENCE South 00 degrees 08 minutes 21 seconds East, with the west right-of-way line of said S. Cherry Lane, a distance of 23.45 feet to a 5/8-inch iron rod found for corner being at the intersection of the north right-of-way of said Whitney Drive with the west right-of-way line of said S. Cherry Lane;

THENCE South 84 degrees 56 minutes 39 seconds West, with the north right-of-way line of said Whitney Drive, a distance of 113.08 feet to a "PK" nail found in asphalt for corner being the beginning of the curve to the left, having a radius of 181.80 feet,

THENCE with the north right-of-way line of said Whitney Drive, and with said curve to the left, through a central angle of 30 degrees 45 minutes 00 seconds, whose chord bears South 69 degrees 34 minutes 09 seconds West at 96.40 feet, an arc length of 97.57 feet to a "PK" nail found in asphalt for corner;

THENCE South 54 degrees 11 minutes 39 seconds West, with the north right-of-way line of said Whitney Drive, a distance of 95.26 feet to the POINT OF BEGINNING and containing 3.086 acres of land, more or less.

Exhibit B

[Attach SWFMA]

STORMWATER FACILITY MAINTENANCE AGREEMENT

THIS STORMWATER FACILITY MAINTENANCE AGREEMENT (the “Agreement”) is entered into between GRB Development LLC, (“Landowner”) and the City of White Settlement, Texas (“City”), effective when executed by both parties.

WITNESSETH

WHEREAS, Landowner is the owner of that certain tract of real property described as approximately 3.12-acre tract located in the McDonnell Survey, described on **Exhibit A** (the “Property”); and

WHEREAS, the Landowner is proceeding to build on and develop the Property according to the Site Plan/Subdivision Plan known as Whitney Crossing which is expressly made a part hereof, as approved or to be approved by the City and the Landowner provides for stormwater management facilities, hereafter defined as the “Facility”, shall be constructed on the Property; and

WHEREAS, the City requires that the Facility be maintained by Landowner, its successors and assigns, at no cost to the City.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. Landowner, its successors and assigns, shall construct and adequately maintain detention ponds, channels, culverts and easements, as shown on **Exhibit B** (the “Facility”), at no expense to the City in accordance with the design specifications for the Facility. Adequate maintenance is herein defined as good working condition so that these facilities are performing their design functions. The Stormwater Structural Control Maintenance Checklists, attached to this Agreement as **Exhibit C**, are to be used to establish what good working condition is acceptable to the City.
2. Landowner, its successors and assigns, shall inspect the Facility and submit an inspection report to the City annually. The purpose of the inspection is to assure safe and proper functioning of the Facility. Components of the Facility which need maintenance or replacement to perform their design function shall be noted in the

inspection report along with the corrective actions to be taken.

3. Landowner, its successors and assigns, hereby grant permission to the City, its authorized agents and employees, to enter upon the Property and to inspect the Facility, with at least 48 hours prior written notice to Landowner. The purpose of inspection is to follow-up on reported deficiencies. The City shall provide to Landowner copies of the inspection findings and a directive to commence with the repairs if necessary.
4. In the event Landowner, its successors and assigns, fails to maintain the Facility in good working condition as specified herein, the City, its authorized agents and employees, whenever the City deems necessary, may enter upon the Property and take steps necessary to correct deficiencies identified in the inspection report, to respond to citizen complaints, and/or to charge the costs of such repairs to Landowner, its successors and assigns. **It is expressly understood and agreed that the City is under no obligation to routinely maintain or repair said Facility, and in no event shall this Agreement be construed to impose any such obligation on the City, such obligation is Landowner's.**
5. Landowner, its successors and assigns, will perform the work necessary to keep the Facility in good working order as appropriate. In the event the City pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, in accordance with Section 4, Landowner, its successors and assigns, shall reimburse the City upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City hereunder. In the event Landowner or its successors or assigns fail to pay the City for the costs incurred under Section 4, the City may impress a lien for the costs of such work upon other lots owned by Landowner. Such lien shall be perfected by filing in the office of the County Clerk of Tarrant County, Texas an affidavit identifying the property to be charged with such lien, stating the amount hereof, and making reference to this Agreement. The City shall deliver a copy of the recorded lien to Landowner within five (5) business days after recording.

6. This Agreement imposes no liability of any kind whatsoever on the City. LANDOWNER AGREES TO HOLD THE CITY HARMLESS FROM ANY LIABILITY IN THE EVENT THE FACILITY FAILS TO OPERATE PROPERLY. LANDOWNER COVENANTS AND AGREES AND DOES HEREBY INDEMNIFY, HOLD HARMLESS AND DEFEND THE CITY, ITS AGENTS, SERVANTS AND EMPLOYEES FROM AND AGAINST ALL COSTS, EXPENSES, LOSSES, DAMAGES, CLAIMS OR CAUSES OF ACTION WHATSOEVER ARISING, OR WHICH MIGHT ARISE, FROM THE FAILURE OF LANDOWNER TO MAINTAIN THE FACILITY, INCLUDING, BUT NOT LIMITED TO THE BED AND BANKS OF THE DETENTION POND; ANY DAMAGES CAUSED TO PERSON OR PROPERTY DUE TO (1) FLOODING OF THE POND AND ITS BANKS, (2) SLOPE FAILURE OF THE BANKS OF THE POND, OR (3) FAILURE OF THE POND OR ITS BANKS TO OPERATE IN A MANNER CONSISTENT WITH CITY CRITERIA; OR FAILURE TO PERFORM ANY OTHER DUTIES OR OBLIGATIONS HEREUNDER.
7. Landowner covenants and agrees that no habitable building shall be erected within the drainage easements outlined on **Exhibit B** but this paragraph shall not preclude construction of other improvements within the drainage easement, which do not impede drainage. Landowner covenants and agrees that no habitable building shall be erected on the property abutting such easement which shall have a finished floor at an elevation less than two feet above the maximum depth of water in the detention pond which would occur during a 100 year frequency flood.
8. This Agreement shall be recorded in the land records of Tarrant County, Texas, shall constitute a covenant running with the land, and shall be binding on Landowner.
9. Notwithstanding anything to the contrary contained or implied elsewhere herein, Landowner may assign all rights and obligations pursuant to this Agreement to a homeowners association or to the owner of all or any part of the Property without the consent of, but with written notice to, the City of such assignment including the Notice information for the assignee. Upon such assignment, all liabilities,

indemnities and obligations of Landowner hereunder, shall expire and be of no further force or effect, save and except for any liabilities, indemnities and obligations of Landowner which have accrued and are due, payable and/or performable as of the date of such transfer. Thereafter, the assignee(s) shall be the Landowner pursuant to this Agreement.

10. Any notices, certifications, approvals, or other communications required to be given by one party to another under this Agreement (a “Notice”) shall be given in writing addressed to the party to be notified at the address set forth below and shall be deemed given: (i) when the Notice is delivered in person to the person to whose attention the Notice is addressed; (ii) when received if the Notice is deposited in the United States Mail, certified or registered mail, return receipt requested, postage prepaid; or (iii) when the Notice is delivered by Federal Express, UPS, or another nationally recognized courier service with evidence of delivery signed by any person at the delivery address. If any date or period provided in this Agreement ends on a Saturday, Sunday, or legal holiday, the applicable period for calculating notice shall be extended to the first business day following the Saturday, Sunday, or legal holiday. For the purpose of giving any Notice, the addresses of the parties are set forth below. The parties may change the address set forth below by sending Notice of such changes to the other party as provided in this section.

To the City:

City of White Settlement
Attn: City Secretary
214 Meadow Park Drive
White Settlement, Texas 76108.

To Landowner:

GRB Development LLC
Attn: Glen Burda
2749 Johnson Rd.
Southlake, Texas 76092

CITY OF WHITE SETTLEMENT, TEXAS

By: _____
Faron Young, Mayor

Date: _____

ATTEST:

By: _____
Amy Arnold, City Secretary

STATE OF TEXAS

COUNTY OF TARRANT

BEFORE ME, the undersigned authority in and for Tarrant County, Texas, on this day personally appeared Faron Young, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he is the Mayor of the City of White Settlement, Texas, and that he is authorized to execute the foregoing instrument on behalf of such limited partnership for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 2023.

Notary Public, State of Texas

GRB Development LLC
A Texas limited liability company

By: _____

Name: _____

Title: _____

STATE OF TEXAS

COUNTY OF TARRANT

BEFORE ME, the undersigned authority in and for _____ County, Texas, on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he is the _____ of GRB Development LLC, a Texas limited liability company, and that he is authorized to execute the foregoing instrument on behalf of such limited liability company for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 2023.

Notary Public, State of Texas

Exhibit A

BEING a 3.08-acre tract of land and being all of Lot 12, and a portion of Lot "A", Block 20, McDonnell Addition, an addition to the City of White Settlement, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-17, Page 29, Plat Records, Tarrant County, Texas (P.R.T.C.T.), and being more particularly described as follows:

Beginning at a 1-inch iron rod found for corner being the southwest corner of the herein described tract, same point being the southwest corner of said Lot 12, and being the southeast corner of Lot 9, Block 20, of said McDonnell addition, same point being in the north right-of-way line of Whitney Drive, a called fifty (50) foot right-of-way;

THENCE North 00 degrees 08 minutes 21 seconds West, a distance of 467.34 feet to a 1-inch iron rod found for corner being in the east line of Lot 2, Block 20 of said McDonnell Addition, same point being the southwest corner of Lot 10, Block 20 of said McDonnell Addition;

THENCE South 89 degrees 24 minutes 13 seconds East, a distance of 179.40 feet to a 1/2-inch iron rod with blue cap stamped "OLD TOWN SURVEYING" (OTS) set for corner being the southeast corner of Lot 13, Block 20, McDonnell Addition, an addition to the City of White Settlement, recorded in Volume 388-27, Page 373, P.R.T.C.T.;

THENCE North 00 degrees 41 minutes 28 seconds West, a distance of 90.08 feet to a 5/8-inch iron rod found for corner being the northeast corner of said Lot 13, same point being in the apparent south right-of-way line of Marrett Drive;

THENCE North 00 degrees 26 minutes 39 seconds East, a distance of 42.10 feet to a "PK" Nail set in asphalt for corner being from which a 5/8-inch iron rod found for the southwest corner of Lot 1, Block 7 McDonnell Addition, an addition to the City of White Settlement, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-6, Page 41, P.R.T.C.T. bears North 04 degrees 24 minutes 53 seconds East at 15.66 feet;

THENCE South 73 degrees 08 minutes 16 seconds East, with a south line of a fifteen (15) foot right of-way dedication for said Marrett Drive, a distance of 133.50 feet to a "Y" cut in concrete found for corner being the northwest corner of Lot A-1-R, Block 20, McDonnell Addition, and addition to the City of White Settlement, recorded in Volume 388-150, Page 89, P.R.T.C.T.;

THENCE South 01 degrees 10 minutes 18 seconds West, passing a 3/4-inch rod found for the southwest corner of said Lot A-1-R at 188.11 feet, and continuing for total distance of 208.12 feet to a 1/2-inch iron rod with blue cap stamped "OTS" set for corner;

THENCE South 89 degrees 38 minutes 26 seconds East, a distance of 69.75 feet to a 5/8-inch iron

rod found for the corner being the west right-of-way line of S. Cherry Lane, a called eight (80) foot right-of-way;

THENCE South 39 degrees 59 minutes 39 seconds West, with the west right-of-way line of said S. Cherry Lane, a distance of 22.07 feet to a "PK" nail found in asphalt for corner being the beginning of a curve to the left having a radius of 326.60 feet;

THENCE with the west right-of-way line of said S. Cherry Lane, and with said curve to the left, through a central angle of 40 degrees 08 minutes 00 seconds, whose chord bears South 19 degrees 55 minutes 39 seconds West at 224.12 feet, as arc length of 228.77 feet to a 1/2-inch iron rod set for corner;

THENCE South 00 degrees 08 minutes 21 seconds East, with the west right-of-way line of said S. Cherry Lane, a distance of 23.45 feet to a 5/8-inch iron rod found for corner being at the intersection of the north right-of-way of said Whitney Drive with the west right-of-way line of said S. Cherry Lane;

THENCE South 84 degrees 56 minutes 39 seconds West, with the north right-of-way line of said Whitney Drive, a distance of 113.08 feet to a "PK" nail found in asphalt for corner being the beginning of the curve to the left, having a radius of 181.80 feet,

THENCE with the north right-of-way line of said Whitney Drive, and with said curve to the left, through a central angle of 30 degrees 45 minutes 00 seconds, whose chord bears South 69 degrees 34 minutes 09 seconds West at 96.40 feet, an arc length of 97.57 feet to a "PK" nail found in asphalt for corner;

THENCE South 54 degrees 11 minutes 39 seconds West, with the north right-of-way line of said Whitney Drive, a distance of 95.26 feet to the POINT OF BEGINNING and containing 3.086 acres of land, more or less.

Exhibit B

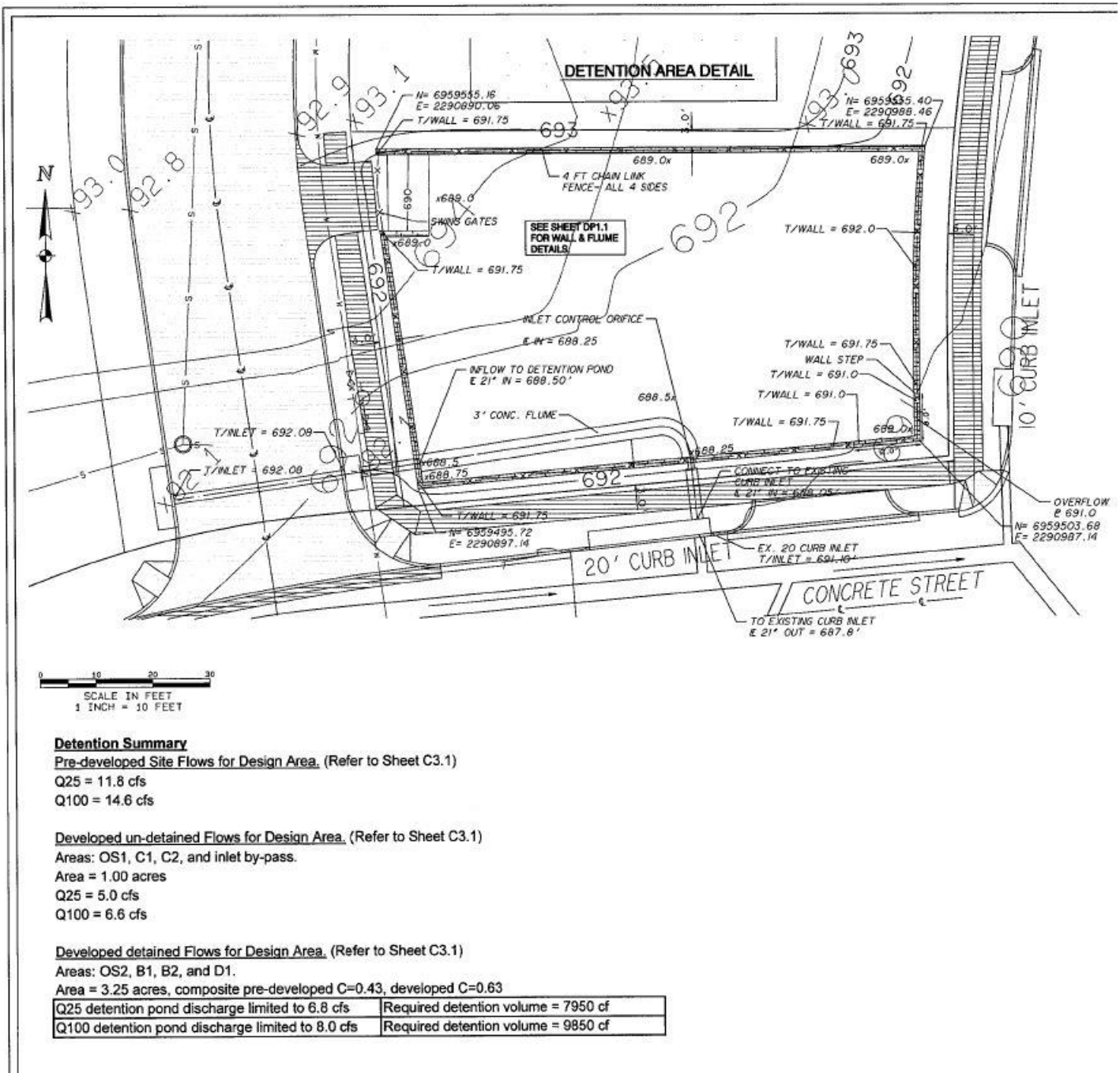


Exhibit C

CITY OF WHITE SETTLEMENT STORMWATER FACILITY OPERATION AND MAINTENANCE PLAN

The only responsibility the City of White Settlement has in the operation and maintenance of this Facility is inspection.

General Maintenance Procedures

The structural and functional integrity of the Facility shall be maintained at all times by removing and preventing drainage interference, obstructions, blockages, or other adverse effects into, through, or out of the system.

Periodic silt removal shall occur when standing water conditions occur or the pond's storage volume is reduced by more than 10%. Silt shall be removed and the pond/basin returned to original lines and grades shown on the approved engineering plans. In addition, corrective measures are required any time a basin does not drain completely within 72 hours of cessation of inflow. NO STANDING WATER IS ALLOWED in basins designed for dry detention purposes.

Accumulated litter, sediment, and debris shall be removed every 6 months or as necessary to maintain proper operation of the basin. Disposal shall be in accordance with federal, state and local regulations.

Detention facilities shall be mowed monthly between the months of April and October or anytime vegetation exceeds 12-inches in height.

To prevent debris from entering and clogging the downstream storm sewer system a wire mesh screen or similar screening device shall be installed over the outlet until final acceptance.

4. PREVENTIVE MAINTENANCE/INSPECTION

- Visual inspections of all components will be conducted every 6 months.
- A log shall be kept of maintenance actions, and inspections. The log should document the condition of the detention system's primary components, mowing, and silt, litter and debris removal dates. Document aeration of the basin bottoms and replanting to prevent the sealing of the basin bottom.
- **Written maintenance and repair records shall be maintained by the party or parties signing the attached Agreement and shall be provided to the City upon request.**

Exhibit D

Stormwater Structural Maintenance CHECKLIST

FREQUENT INSPECTION	DATE	REPAIRS REQUIRED	REPAIRS MADE	NOTES
Mowing				
Remove Trash and debris				
Inspect irrigation system operation				
Remove grass clippings				
Violations Noted				
MINOR INSPECTION				
Condition of Pond				
Amount of silt in pond				
Amount of silt in flume				
Amount of ponded water				
Amount of wetland vegetation				
Location of Erosion				
Percent of vegetation				
Condition of trash guard				
Location of Erosion				
MAJOR INSPECTIONS				
Condition of Stormwater Quality Structure				
Type of Stormwater Quality Structure				
Structure type and Condition				
Condition of Rip-Rap				

Condition of filtration system				
Berm or Embankment Settlement				
Location of erosion				
Evidence of Animals				
Evidence of Aquatic life				
Condition of Aeration Foundation				

WHITNEY CROSSING

April 3, 2023

Whitney Crossing is a 3.12 acre, 14 lot subdivision within the city of White Settlement, Texas. GRB Development is requesting to replat the property and rezone the property to PD zoning. The property is currently zoned C-C commercial and was previously developed with multi-family apartments. Residential development is compatible with neighboring R-6 zoned single family homes. Due to the geometry of the tract not all proposed lots can conform to the standards set forth in R-6 zoning. The PD zoning is requested to allow for a quality residential development at this location.

Part 1. Purpose and intent.

The purpose of the subdivision is to build 14 single family homes. These homes will be a minimum of 1600 square feet of living space, plus 400 square feet of garage, for a total minimum of 2,000 square feet. All houses shall be a maximum of 35 feet in height (anticipate a mix of 1 story and 2 story homes).

Part 2. Restrictions and covenants set forth by the EDC of White Settlement, from which the land was purchased.

1. All properties are to be single family structure not exceeding 2 stories in height. All structures including accessory buildings, must conform to the Code of Ordinances, City of White Settlement, Texas.
2. Exterior wall construction of the single family Dwellings must conform to the following restrictions and requirements. Exterior walls on each story shall consist of at least 80 percent masonry (brick or stone), exclusive of the following; windows, doors, dormers, and gables over the entrance of an extended garage.
3. Any rear wall 1st or second story crossing the building or easement line is prohibited.
4. Any side wall 1st or second story crossing over the building or easement line is prohibited.
5. Any rear multistory straight wall with an exterior surface construction that is in excess of 70 percent glass or windows is prohibited.

6. Any wall area above a first floor roof where the exterior masonry veneer cannot directly bear upon the foundation (for example, wall area above an attached garage), is permitted to not be masonry.
7. No single family dwelling may be constructed on any portion of the property unless a solid masonry screening wall of 6' in height is erected inside the property line separating the property from Cherry Lane, save for any areas of street or right of way which intersect with Cherry Lane.
8. All buildings and structures on the property must be constructed in compliance with the Code provisions in effect at the time of construction.
9. The 6' masonry fence shall be built on the private property and to be considered the rear fence. Ownership and maintenance shall be the property owners responsibility. The city will bear no responsibility for repair or maintenance.
10. No structure or part of a structure will be constructed inside an easement.

Part 3; Lot design standards:

- a. Minimum lot area of 4,530 square feet.
 - b. Minimum lot width of 39 feet.
 - c. Minimum lot depth of 75 feet.
 - d. Minimum front building line of 20 feet.
 - e. All lots have a minimum interior side yard setback of 5 feet.
 - f. All corner lots have a minimum street side yard of 15 feet.
 - g. Minimum rear building line of 15 feet.
 - h. Maximum building height of 35 feet.
 - i. Maximum lot coverage will be 66% of gross lot footage.
 - j. Minimum floor area of 1,600 square feet.
 - k. Each lot will accommodate a 2 car garage and 2 car exterior off street parking.
 - l. Each lot's front, side, and rear building lines; lot areas; and lot dimensions will be approved as shown on the Preliminary Plat that is a part of this PD application.
11. The lots average 7,260 square feet and the smallest being 4,532 square feet.
 12. All streets, parkways, and walkways are dedicated to the city for public use and for location of utilities.
 13. No structures will be constructed in utility easements.
 14. The 6 foot screening wall will be built from decorative face brick, with pilaster columns bearing on concrete footings. This screening wall will separate Whitney Crossing from Cherry Lane. Wall to be consistent height of 6 foot tall.

15. Mandatory Home Owners Association is to be created for the purpose of mowing and maintaining the detention pond and common areas. The city has no responsibility in maintaining the detention pond. Developer and home builder shall bear responsibility for mowing and maintaining the detention pond until control of HOA is passed on to the home owners.

Part 3. Schedule of improvements. The entire site including all 3.086 acres, 14 lots, to be developed in one phase.

1. June 2023 - Approval of Plat and PD zoning. Planning Commission and City Council.
2. July 1, 2023 - commencement of excavation.
3. August 1- August 30, 2023- Installation of water and sewer services.
4. August 30 - September 30, 2023 - Installation of pavement.
5. October 1, 2023 – October 30, 2023 - Construction of screening wall and detention pond.
6. October 30, 2023 – November 30, 2023 Completion and Final Inspection.

Part 4. General notes

1. City council consideration to be month following P&Z consideration.
2. All construction activities to be subsequent to council approval.

KE PROJECT NO. 2242

	NO	RE	DATE	DESCRIPTION	AMOUNT	CHECK NO.	BANK	TX
				CONSTRUCTION PI ANS - WHITNEY CROSSING - WHITE SETTLEMENT, TX				

OWNER'S CERTIFICATION:

STATE OF TEXAS §
COUNTY OF TARRANT §

Whereas, GRB Development, LLC, is the owner of of LOT 12, BLOCK 20, McDONNELL ADDITION recorded as Volume 388-17,Page 29,Plat Records, Tarrant County, Texas (PRTCT) and two other tracts as recorded in D208357105, Official Public Records, Tarrant County, Texas (OPRTCT) and being a tract of land out of the John Collett Survey, Abstract Number 262 and the John Murry Survey, Abstract Number 1072, City of White Settlement, Tarrant County, Texas, and being all of Lot 12 and part of Lot A, Block 20, McDonnell Addition per the plat recorded in Volume 388-17, Page 63, Plat Records, Tarrant County, Texas (PRTCT) being the same tract sold to the City of White Settlement, Texas Economic Development Corporation per the deed recorded as D208357105, Official Public Records, Tarrant County, Texas (OPRTCT) and being more particularly described by the metes and bounds as follows:

BEGINNING at a 1" iron rod found for the southeasterly corner of Lot 9, Block 20 of said McDonnell Addition, with said point being on the northerly line of Whitney Drive;

THENCE North 0° 08' 21" West departing the northerly line of Whitney Drive, a distance of 467.34 feet to a 1" iron rod found for the southwest corner of Lot 10, Block 20 of said McDonnell Addition;

THENCE South 89° 24' 13" East, with the south line of Lots 10 & 11, continuing on with the south line of Lot 13, Block 20, McDonnell Addition, per the plat recorded in Volume 288-27, Page 373, PRTCT, a distance of 179.40 feet to 1/2" iron rod with a blue cap stamped OLD TOWN SURVEYING found for the southeast corner of said Lot 13, Block 20;

THENCE North 0° 41' 28" West, with the east line of said Lot 13, Block 20, a distance of 90.08 feet to a 5/8" iron rod found for the northeast corner of said Lot 13, Block 20 and being on the southerly line of Marrett Drive, a variable width right of way;

THENCE North 0° 26' 39" West, with the southerly line of Marrett Drive and the most northerly west line of said Lot 12, Block 20, a distance of 42.10 feet to a MAG Nail found for the most northerly northwest corner of said Lot 12, Block 20;

THENCE South 73° 08' 16" East, with the southerly line of Marrett Drive and the most northerly north line of said Lot 12, Block 20, a distance of 133.50 feet to a "Y" cut found for the most northerly northwest corner of Lot A-1-R, Block 20, McDonnell Addition per the replat recorded in Volume 388-150, Page 89, PRTCT;

THENCE South 1° 10' 19" West, departing the southerly line of Marrett Drive and with the westerly line of said Lot A-1-R, Block 20, a distance of 188.12 to a 3/4" iron rod found for the southwest corner of said Lot A-1-R, Block 20, from which a 1/2" iron rod with a blue cap stamped OLD TOWN SURVEYING bears South 1° 10' 18" West at a distance of 20.00 feet;

THENCE South 89° 53' 27" East, with the south line of Lot A-1-R, Block 20, McDonnell Addition, a distance of 86.35 feet to a MAG nail with a washer stamped RPLS 5094 set for an angle point on the westerly line of South Cherry Lane;

THENCE South 39° 59' 32" West with the westerly line of South Cherry Lane, passing a 5/8" iron rod found at 26.50 feet, in all, a total distance of 48.54 feet to a PK nail found for the Point of Curvature for a curve to the left having a Radius of 326.00 feet with a Chord Bearing South 19° 55' 39" West for a Chord Length of 224.12 feet;

THENCE Southwesterly with said curve, an Arc Length of 228.77 feet to a 5/8" iron rod found for the point of tangency;

THENCE South 0° 08' 21" East, with the westerly line of South Cherry Lane a distance of 23.45 feet to a 5/8" iron rod found for the point of intersection with the westerly line of South Cherry Lane and the northerly line of Whitney Drive;

THENCE South 84° 56' 39" West with the northerly line of Whitney Drive a distance of 113.08 feet to PK nail found for the Point of Curvature for a curve to the left having a Radius of 181.80 feet with a Chord Bearing South 69° 34' 09" West for a Chord Length of 96.40 feet;

THENCE Southwesterly with said curve, an Arc Length of 97.57 feet to a PK nail found for the point of tangency;

THENCE South 54° 11' 39" West with the northerly line of Whitney Drive a distance of 95.26 feet to the POINT OF BEGINNING and containing a calculated area of 3.122 Acres of land.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, GRB Development, LLC, does hereby adopt this plat designating the herein above referenced property as the **WHITNEY CROSSING ADDITION**, an addition to the City of White Settlement, Tarant County, Texas, and does hereby dedicate to the public's use forever the streets and easements shown hereon, and does hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use the same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fence, trees shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon said easement strips for the purpose of constructing, reconstructing, inspecting and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinance, rules, regulations and resolutions of the City of White Settlement, Texas.

WITNESS MY HAND IN TARRANT COUNTY, TEXAS, THIS THE ____ DAY OF _____, 20__.

Printed Name & Title

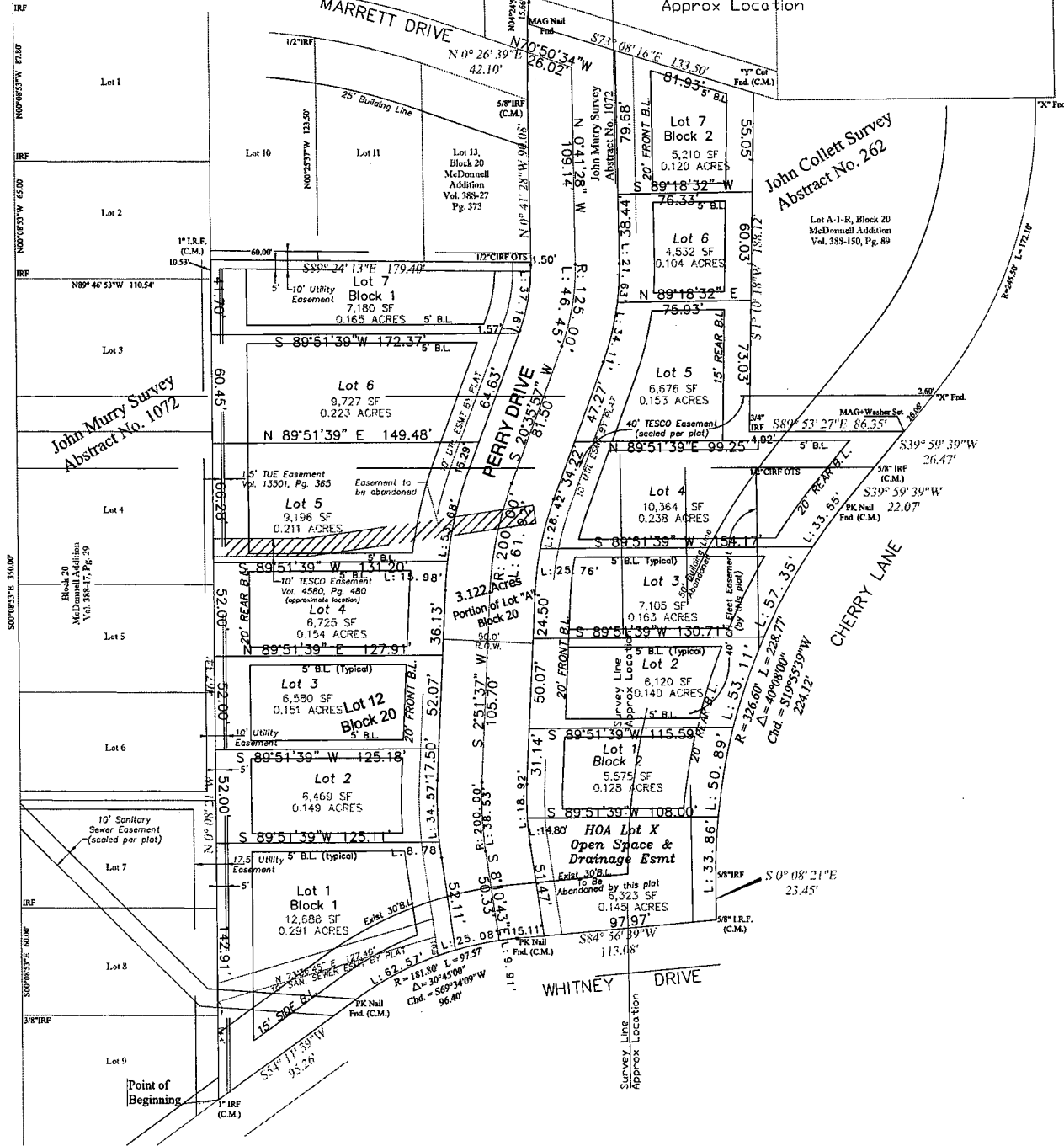
STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, the undersigned authority, a Notary Public in and for the State of Texas; on this date personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office the ____ day of _____, 20__.

Notary Public for the State of Texas

© Copyright 2023 Michael B Davis/Alpha Land Surveying, Inc. Z:\MBO_RPLS7\730 S Cherry Ln\Whitney Crossing_Working Replat7.dwg modified by RPLS7 at Jan 16, 2023 - 1:09pm



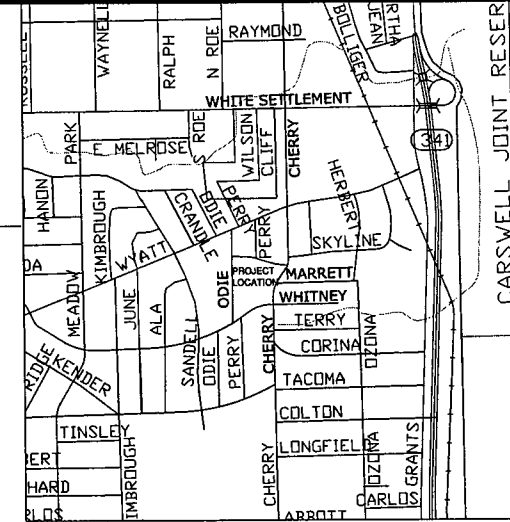
SURVEYOR'S CERTIFICATION:

I, Michael B H Davis, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my supervision.

Per Texas Administrative Code, TBPSS RULE §663.118:
Certification - Preliminary; this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.
Registered Professional Land Surveyor 5094.
Firm Registration Certificate number: 10135300

FOR REVIEW ONLY

Michael B H Davis, Registered Professional Land Surveyor
Firm Registration Certificate Number: 10135300



VICINITY MAP

1" = 1000'

NOTES:

THE BASIS OF BEARINGS FOR THIS PLAT IS GRID NORTH, NAD 83, TEXAS NORTH CENTRAL ZONE, 4202.

DISTANCES MEASURED PERPENDICULAR OR RADIAL TO LOT LINES UNLESS NOTED OTHERWISE.

5/8" CAPPED IRON RODS STAMPED RPLS 5094 SET AT ALL LOT CORNERS, UNLESS NOTED OTHERWISE.

THE SUBJECT PROPERTY IS IN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 100-YEAR FLOODPLAIN BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 48439C0165K, DATED SEPTEMBER 25, 2009.

THE CITY OF WHITE SETTLEMENT RESERVES THE RIGHT TO REQUIRE ADDITIONAL MINIMUM FINISHED FLOOR ELEVATIONS ON ANY LOT CONTAINED WITHIN THIS SUBDIVISION. THE MINIMUM ELEVATIONS SHOWN ARE BASED ON THE MOST CURRENT INFORMATION AVAILABLE AT THE TIME THE PLAT IS FILED AND MAY BE SUBJECT TO CHANGE.

APPROVED BY THE CITY COUNCIL OF WHITE SETTLEMENT, TEXAS, on this ____ day of ____

ATTEST:

Mayor

City Secretary

I, _____ do hereby acknowledge and accept all storm drainage runoff coming on and across the property being platted.

Signature

Date

FOR REVIEW ONLY
REPLAT

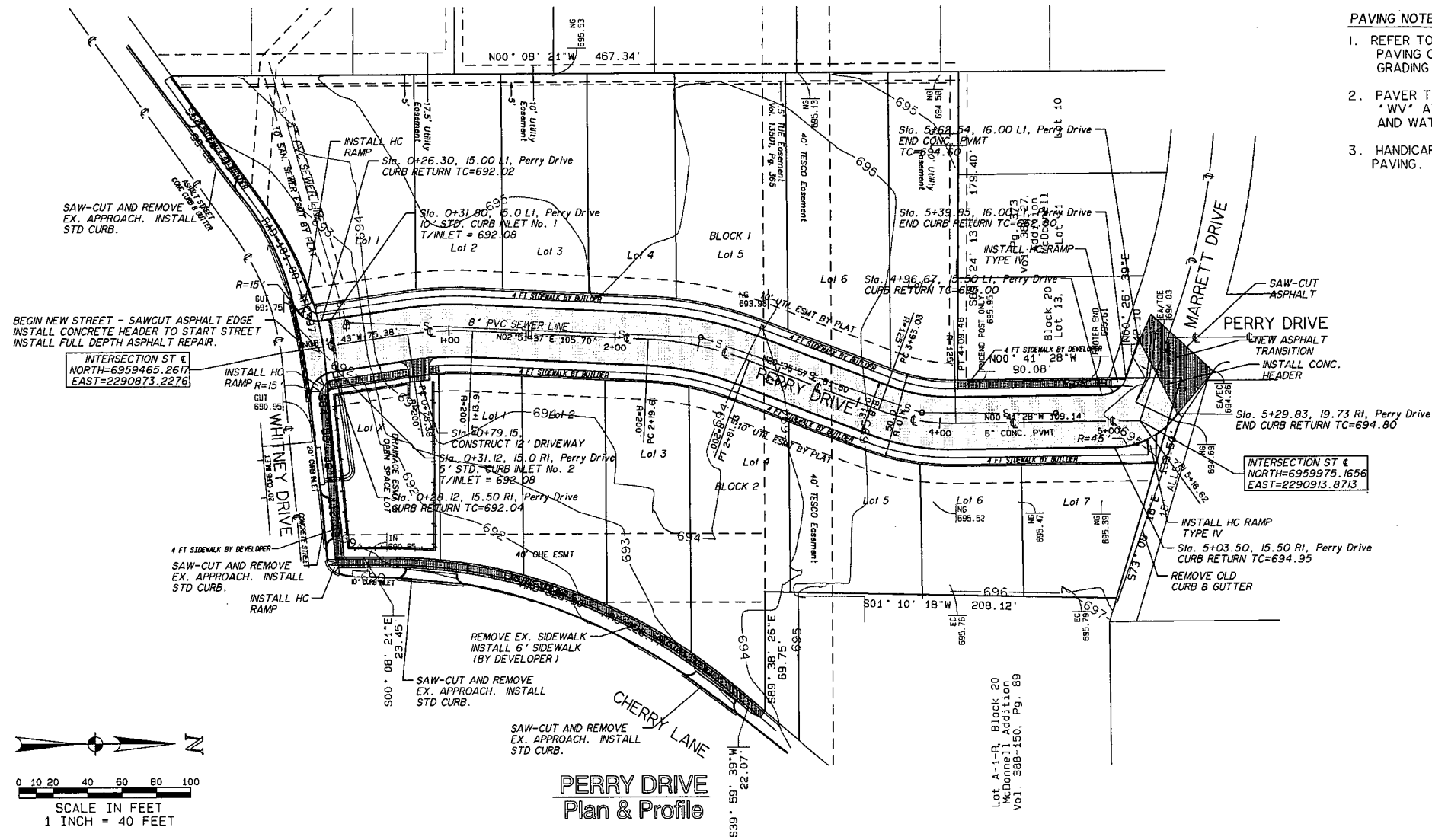
of
LOTS 1-7, BLOCK 1 &
LOTS 1-7 & LOT X, BLOCK 2
WHITNEY CROSSING ADDITION
previously recorded as Lot 12, Block 20
McDonnell Addition, Volume 388-17,Page 29
Plat Records, Tarrant County, Texas

out of the
John Collett Survey, Abstract No. 262 &
the John Murry Survey, Abstract No. 1072
White Settlement, Tarrant County, Texas

Resubmitted: January 17, 2023

This Plat was filed as Document Number:

SHEET 1 of 1

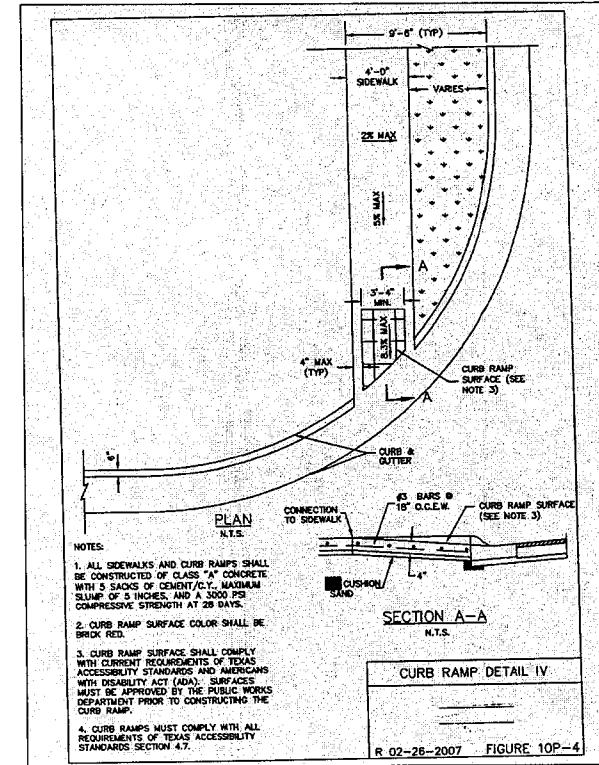


PAVING NOTES

1. REFER TO SHEET PI FOR TYPICAL STREET PAVING CROSS SECTION AND RIGHT-OF-WAY GRADING CROSS-SECTION.
2. PAVER TO MARK CURB WITH "S", "W", AND "VW" AT SEWER SERVICE, WATER SERVICE AND WATER VALVE LOCATIONS RESPECTIVELY.
3. HANDICAPPED RAMPS TO BE INSTALL WITH STREET PAVING. REFER TO PAVING DETAIL SHEET PI.1.

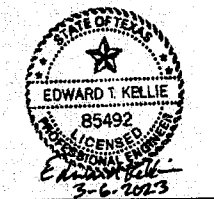
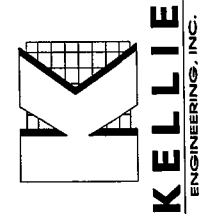
PROJECT BENCHMARK

SSMH RIM SOUTHWEST CORNER
OF LOT 1, BLOCK 1
7 FT NORTH OF NORTH CURB LINE
OF WHITNEY ROAD
NORTHING=6959389.9018
EASTING=2290700.5441
ELEV.=693.93



Subdivision Construction Plans
WHITNEY CROSSING
14 Lots, 3.086 Acres
Cherry Lane
White Settlement, Tarrant County
TEXAS

P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kellie-engineering.com



Revisions		
No.	Date	Description
1	10/03/2022	Staff comments 09/22/22
2	11/07/2022	Staff comments 10/11/22
3	01/04/2023	Subdivision with deletion
4	03/06/2023	Staff comments 02/17/23

Project No.: 2242

Scale: 1"=40' HORIZ. 1"=4' VERT.

PERRY DRIVE PLAN & PROFILE

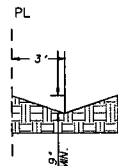
SHEET:

GRADING NOTES

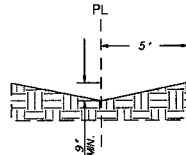
- Proposed grades shown are to top of pavement for paved areas and to top of final grade for areas outside of pavement. Refer to the plan.
- Excavation is considered unclassified and shall include all material encountered. Rock and other site materials shall be pulverized prior to placement as fill. Large rock, which is not pulverized, shall be removed from the site.
- A geotechnical engineer shall approve the suitability of site fill material. Fill approved for placement shall be compacted in lifts no greater than 8" and compacted to a minimum of 95% and a maximum of 98% maximum density as determined by ASTM D968.
- The locations, elevations and dimensions of existing utilities shown on the plans were obtained from available utility company records and are considered approximate. It shall be the Contractor's responsibility to verify locations, elevations, and dimensions of adjacent and/or conflicting utilities sufficiently in advance of construction in order that adjustments can be made to provide adequate clearances. The Contractor shall preserve and protect all utilities at all times during construction. Any damage to utilities resulting from the Contractor's operations shall be restored at his expense. The engineer shall be notified when proposed facility grades conflict with existing utility grades.
- All franchise utility companies shall be notified at least ten (10) days in advance of construction. call 1-800-dig-less 36 hours prior to any site excavation. Contact the City of White Settlement Utility Department to mark City water, sewer, and storm drainage facilities.

GRADING LEGEND

x 632.40	PROPOSED SPOT GRADE
532.40	EXISTING SPOT GRADE
—X—X—	EXISTING FENCE
—633—	EXISTING CONTOUR
—633—	PROPOSED CONTOUR
→	FLOW DIRECTION
—'A'—	SWALE TYPE 'A'
—'B'—	SWALE TYPE 'B'



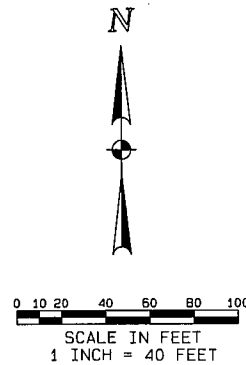
SWALE A-A



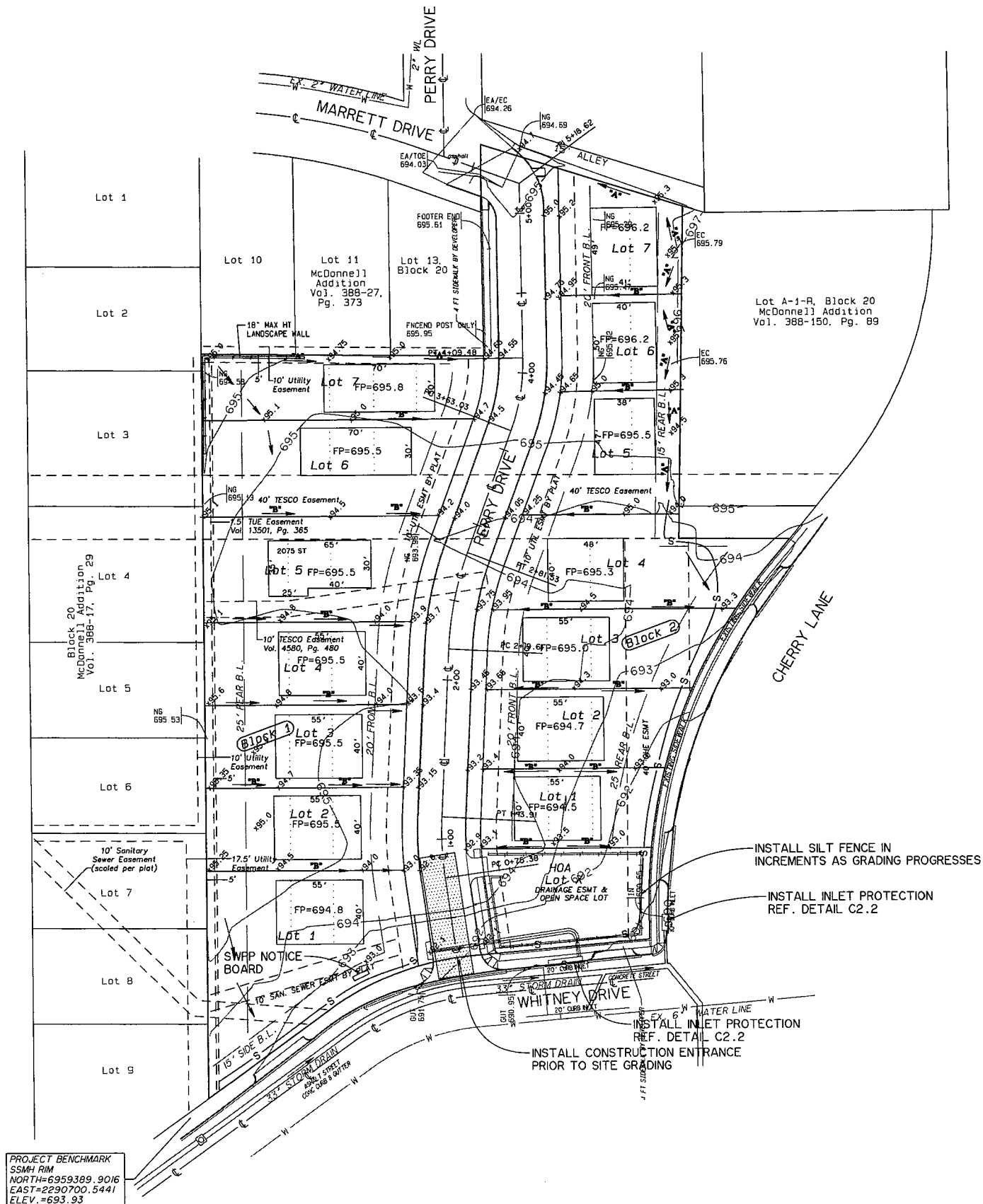
SWALE B-B

PROJECT BENCHMARK

SSMH RIM SOUTHWEST CORNER
OF LOT 1, BLOCK 1
7 FT NORTH OF NORTH CURB LINE
OF WHITNEY ROAD
NORTHING=6959389.9016
EASTING=2290700.5441
ELEV.=693.93

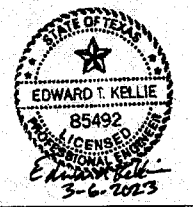
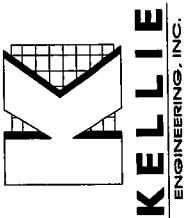


Lot Grading Plan



Subdivision Construction Plans
WHITNEY CROSSING
14 Lots, 3.086 Acres
Cherry Lane
White Settlement, Tarrant County
TEXAS

P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kellie-engineering.com



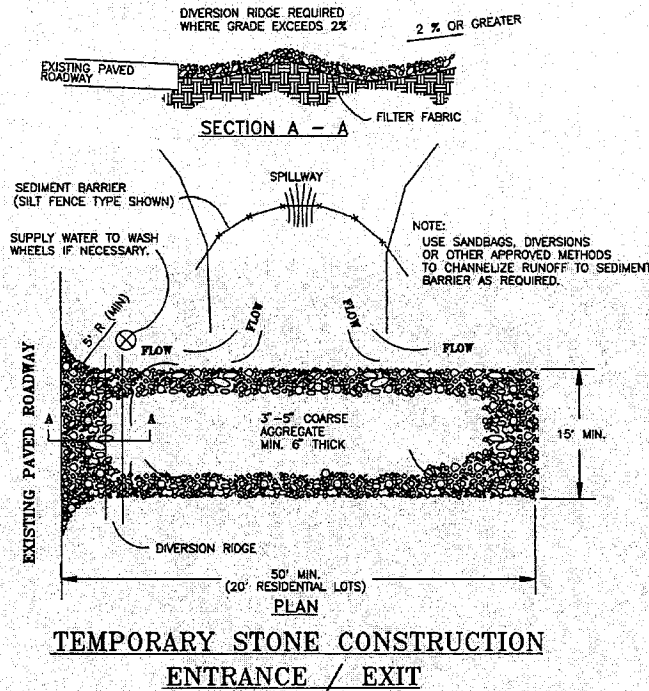
Issued: September 7, 2022	
Revisions	
No.	Date Description
1	10/03/2022 Staff comments 09/22/2022
2	11/07/2022 Staff comments 10/11/22
3	01/04/2023 Subdivision with detention
4	03/06/2023 Staff comments 02/17/23
Project No.: 2242	
Scale: REFER TO PLAN	
SHEET TITLE: GRADING PLAN	
SHEET: C2.1 Page 66 of 98	

GENERAL NOTES

- IT IS THE INTENT OF THE INFORMATION PROVIDED ON THIS SHEET AND WITHIN THE SPECIFICATIONS TO BE USED AS THE GENERAL GUIDELINES OF THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT TO ESTABLISH A MINIMUM BASIS OF COMPLIANCE WITH TEXAS COMMISSION ON ENVIRONMENTAL QUALITY REGULATIONS. THE CONTRACTOR SHALL PREPARE THE STORM WATER POLLUTION PREVENTION PLAN AND BE SOLELY RESPONSIBLE FOR ITS IMPLEMENTATION. THE STORM WATER POLLUTION PREVENTION PLAN SHALL MEET THE REQUIREMENTS SET FORTH IN THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY GENERAL PERMITS FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITES.
- THE STORM WATER POLLUTION PREVENTION PLAN SHOULD ADDRESS THREE GOALS:
 - DIVERSION OF UPSLOPE WATER AROUND DISTURBED AREAS OF THE SITE.
 - LIMIT THE EXPOSURE OF DISTURBED AREAS TO THE SHORTEST DURATION POSSIBLE.
 - REMOVAL OF SEDIMENT FROM STORM WATER BEFORE IT LEAVES THE SITE.
- THE CONTRACTOR SHALL MAKE THE STORM WATER POLLUTION PREVENTION PLAN AVAILABLE, UPON REQUEST, TO TCEQ & LOCAL AGENCIES.
- THE CONTRACTOR MUST AMEND PLANS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF THE PLAN, OR WHEN THE EXISTING PLAN PROVES INEFFECTIVE. MODIFICATIONS INCLUDING DESIGN AND ALL ADDITIONAL MATERIALS AND WORK SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- STABILIZATION MEASURES ARE TO BE INSPECTED AT A MINIMUM OF ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 5 INCHES. REPAIRS TO INADEQUACIES REVEALED BY THE INSPECTION MUST BE IMPLEMENTED WITHIN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- AN INSPECTION REPORT THAT SUMMARIZES INSPECTION ACTIVITIES AND IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE RETAINED AND MADE PART OF THE PLAN.
- ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN THE PLAN MUST CERTIFY AS TO AN UNDERSTANDING OF THE NPDES GENERAL PERMIT BEFORE CONDUCTING ANY ACTIVITY IDENTIFIED IN THE POLLUTION PREVENTION PLAN.
- THE CONTRACTOR SHALL ADOPT APPROPRIATE CONSTRUCTION SITE MANAGEMENT PRACTICES TO PREVENT THE DISCHARGE OF OILS, GREASE, PAINTS, GASOLINE, AND OTHER POLLUTANTS TO STORM WATER. APPROPRIATE PRACTICES CAN INCLUDE: DESIGNATING AREAS FOR EQUIPMENT MAINTENANCE AND REPAIR, REGULAR COLLECTION OF WASTES, CONVENIENTLY LOCATED WASTE RECEPTACLES, AND DESIGNATING AND CONTROLLING EQUIPMENT WASHDOWN.
- THE CONTRACTOR SHALL AMEND OR MODIFY THIS PLAN AS REQUIRED BY CONSTRUCTION MEANS, METHODS AND SEQUENCE. MODIFICATIONS SHALL NOT COMPROMISE THE INTENT OF THE REQUIREMENTS OF THE LAW AND THIS PLAN. MODIFICATIONS SHALL NOT BE BASIS FOR ADDITIONAL COST TO THE OWNER.
- AREAS OF CONSTRUCTION ELSEWHERE ON THE JOBSITE SHALL CONFORM TO THE DETAILS SHOWN ON THE PLANS.
- ALL FUTURE NON-PAVED AREAS SHALL BE HYDROMULCHED OR SEEDED FOR EROSION PROTECTION IMMEDIATELY UPON COMPLETION OF FINAL GRADING. THIS INCLUDES ALL DITCHES AND EMBANKMENTS. THE CONTRACTOR SHALL MAINTAIN FINAL GRADING AND KEEP SEEDED AREAS WATERED UNTIL FULLY ESTABLISHED AND ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION EXIT AT ALL TRAFFIC EXIT POINTS PRIOR TO EXITING ONTO ANY PAVED ROADWAY. EXIT SHALL BE CONSTRUCTED AS DETAILED THIS SHEET.
- THE CONTRACTOR SHALL CONSTRUCT A SILT FENCE (SF) AT ALL LOCATIONS SHOWN ON PLANS. THE SF SHALL BE CONSTRUCTED AS DETAILED THIS SHEET.
- THE CONTRACTOR SHALL DESIGNATE MATERIAL AND EQUIPMENT STORAGE AREAS MUTUALLY AGREED TO BY OWNER. THE STORAGE AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE AND THE SURFACE STABILIZED WITH A MINIMUM OF 2 INCHES OF CRUSHED ROCK OR GRAVEL. REINFORCED FILTER BARRIER SHALL BE INSTALLED AROUND THE STORAGE AREAS TO PREVENT ANY EROSION FROM LEAVING THE SITE.
- REFER TO THE FOLLOWING NCTCOG - BMP - ID FOR ADDITIONAL MINIMUM REQUIREMENTS:
 - S-II LIME STABILIZATION BMP
 - W-1 SOLID WASTE MANAGEMENT
 - W-2 HAZARDOUS WASTE MANAGEMENT
 - W-3 CONCRETE WASTE MANAGEMENT

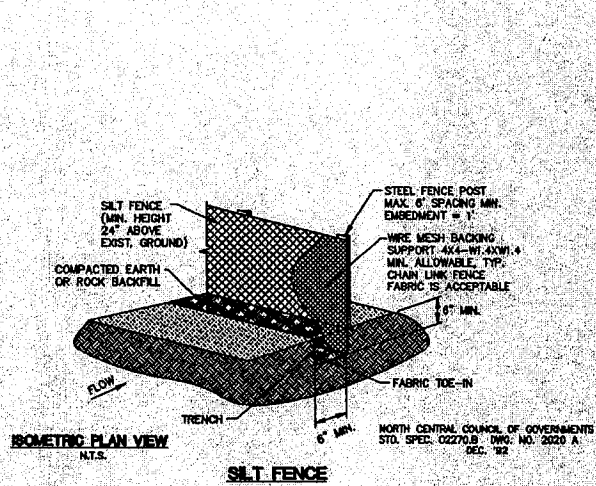
GENERAL EROSION CONTROL NOTES

- DURING DRAINAGE SYSTEM CONSTRUCTION, ALL PIPES AND CULVERTS SHALL BE PROTECTED FROM SILT AND SOIL DEPOSITS BY USE OF HAY BALES OR SILT FENCES AT THE UPSTREAM END UNTIL CONSTRUCTION IS COMPLETED.
- SILT FENCE MAY BE INSTALLED IN INCREMENTS AS NEEDED.
- IT SHALL BE EACH CONTRACTOR'S RESPONSIBILITY TO USE WHATEVER METHODS AND/OR MEANS REQUIRED TO CONTROL AND LIMIT THE AMOUNTS OF SILT AND SEDIMENT THAT ARE ALLOWED TO LEAVE THE CONSTRUCTION SITE INCLUDING LIMITING THE AMOUNT OF SOIL TRACKED OFFSITE BY CONSTRUCTION VEHICLES. THE CONTRACTOR SHALL PROTECT PUBLIC STREETS, WALKS, ALLEYS, STREAMS, STORM DRAINAGE SYSTEMS AND INLETS FROM SOIL DEPOSITS.
- THE CONTRACTOR SHALL ADOPT APPROPRIATE CONSTRUCTION SITE MANAGEMENT PRACTICES TO PREVENT THE DISCHARGE OF OILS, GREASE, PAINTS, GASOLINE AND OTHER POLLUTANTS TO STORMWATER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING EROSION FROM ALL DISTURBED AREAS. SITE SPECIFIC REQUIREMENTS FOR EROSION CONTROL WILL VARY BASED ON GRADING/SUBGRADE PREPARATION/PAVING/BUILDING CONSTRUCTION SCHEDULING.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT NO SEDIMENT IS TRACKED ONTO SURROUNDING CITY STREETS BY CONSTRUCTION VEHICLES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING SILT OR DEBRIS FROM SURROUNDING CITY STREETS AND/OR DRAINAGE SYSTEMS IF SILT OR DEBRIS IS TRACKED OR WASHED FROM THE SITE.



STABILIZED CONSTRUCTION ENTRANCE NOTES

- STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
- LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
- THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
- THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.



SILT FENCE

GENERAL NOTES:

- STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
- THE TRENCH MUST BE A MINIMUM OF 8 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
- INSPECTION SHALL BE MADE WEEKLY AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

NORTH CENTRAL COUNCIL OF GOVERNMENTS
STD. SPEC. 02270.B DWG. NO. 2020 B
DEC. '92

ISWM™ Technical Manual

Construction Controls

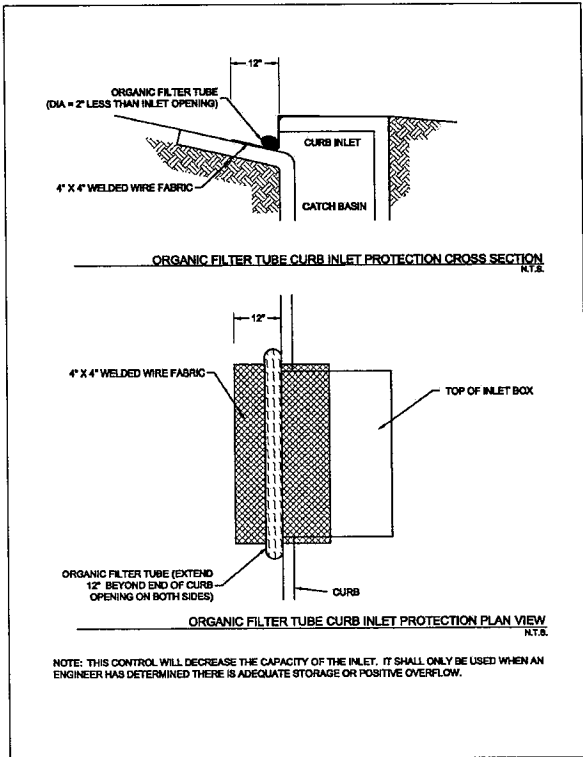


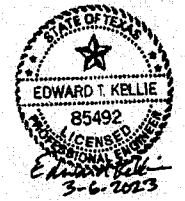
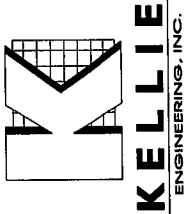
Figure 3.6 Schematics of Organic Filter Tube Curb Inlet Protection
(Source: Modified from City of Plano BMP SP-4)

Inlet Protection
April 2010, Revised 9/2014

CC-88

Subdivision Construction Plans
WHITNEY CROSSING
14 Lots, 3.086 Acres
Cherry Lane
White Settlement, Tarrant County
TEXAS

P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kellie-engineering.com



Issued:	September 7, 2022	
Revisions		
No.	Date	Description
1	10/03/2022	Staff comments 09/22/2022
2	11/07/2022	Staff comments 10/11/22
3	01/04/2023	Subdivision with definition
4	03/06/2023	Staff comments 02/17/23

Project No. : 2242

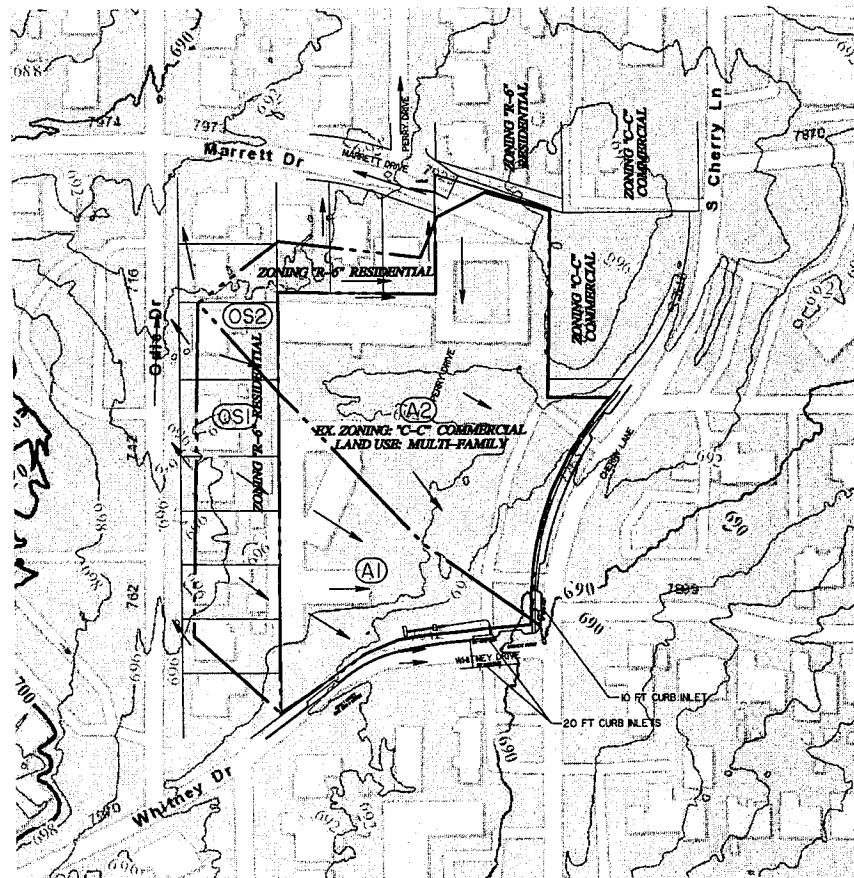
Scale : REFER TO PLAN

SHEET TITLE:

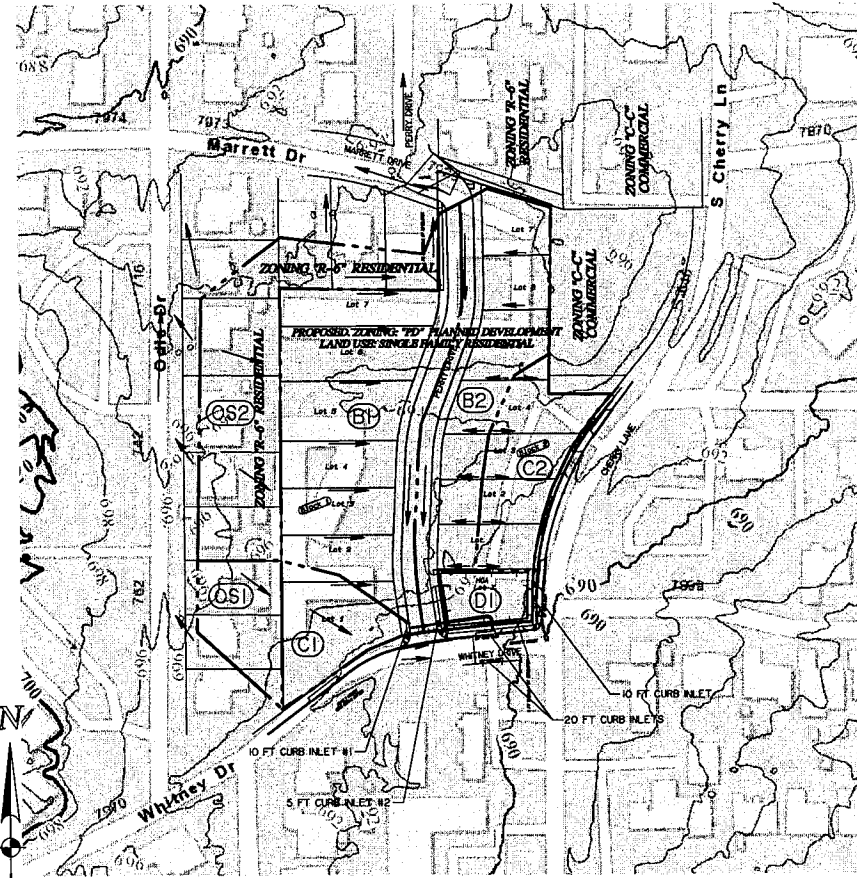
**EROSION CONTROL
DETAILS**

SHEET:

ORIGINAL CONDITIONS - DRAINAGE AREA MAP



PROPOSED CONDITIONS - DRAINAGE AREA MAP



LEGEND

- (A) DRAINAGE AREA DESIGNATION
- DRAINAGE DIVIDE
- 633--- EXISTING CONTOUR
- FLOW DIRECTION

ORIGINAL CONDITIONS - DEVELOPED DRAINAGE CALCULATIONS

Area	Area (acres)	"C" Factor	T _c (min)	I ₅ (in/hr)	Q ₅ (cfs)	I ₁₀ (in/hr)	Q ₁₀ (cfs)	I ₂₅ (in/hr)	Q ₂₅ (cfs)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Comments
OS-1	0.80	0.63	15	4.86	2.4	5.53	2.8	6.46	3.3	7.98	4.0	Offsite area drains through site to Whitney Drive.
OS-2	0.40	0.63	15	4.86	1.2	5.53	1.4	6.46	1.6	7.98	2.0	Offsite area drains through site to 10' inlet - Cherry Lane.
A-1	0.95	0.35	15	4.86	1.6	5.53	1.8	6.46	2.1	7.98	2.7	Onsite area drains south to Whitney Drive.
A-2	2.10	0.35	15	4.86	3.6	5.53	4.1	6.46	4.7	7.98	5.9	Onsite area drains east to 10' inlet - Cherry Lane.
4.25				8.9		10.1		11.8		14.6		

PROPOSED CONDITIONS - DEVELOPED DRAINAGE CALCULATIONS

Area	Area (acres)	"C" Factor	T _c (min)	I ₅ (in/hr)	Q ₅ (cfs)	I ₁₀ (in/hr)	Q ₁₀ (cfs)	I ₂₅ (in/hr)	Q ₂₅ (cfs)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Comments
OS-1	0.30	0.63	15	4.86	0.9	5.53	1.0	6.46	1.2	7.98	1.5	Offsite area drains through site to Whitney Road (UN-DETAINED).
OS-2	0.90	0.63	15	4.86	2.8	5.53	3.1	6.46	3.7	7.98	4.5	Offsite area drains through site to new street - Perry Drive to Inlet No. 1 (DETAINED).
B-1	1.32	0.63	15	4.86	4.0	5.53	4.6	6.46	5.4	7.98	6.6	Onsite area drains south in new street - Perry Drive to Inlet No. 1 (DETAINED).
B-2	0.88	0.63	15	4.86	2.7	5.53	3.1	6.46	3.6	7.98	4.4	Onsite area drains south in new street - Perry Drive to Inlet No. 2 (DETAINED).
C-1	0.30	0.63	15	4.86	0.9	5.53	1.0	6.46	1.2	7.98	1.5	Onsite area drains southeast to Whitney Road (UN-DETAINED).
C-2	0.40	0.63	15	4.86	1.2	5.53	1.4	6.46	1.6	7.98	2.0	Onsite area drains east directly to Cherry Lane (UN-DETAINED).
D-1	0.15	0.63	15	4.86	0.5	5.53	0.5	6.46	0.6	7.98	0.8	HOA lot drains directly to detention pond (DETAINED).
4.25				13.0		14.8		17.3		21.4		

LOT X, HOA LOT, PROVIDES ON SITE DETENTION TO LIMIT TOTAL FLOWS TO PRE-DEVELOPED (REF. SHEET C3.3)

PROPOSED LAND USE IS SINGLE FAMILY RESIDENTIAL
Calculation determined by using the Rational Method Q=CIA
C=0.63 for residential areas, C=0.35 for undeveloped area with partial paving
Rainfall intensities determined from NCTCOG ISWM Technical Manual, Table 5.15 Tarrant County, T_c = 15 minutes for residential development.

City of Fort Worth Stormwater Criteria Manual

Table 3.5 Runoff Coefficients

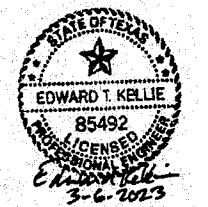
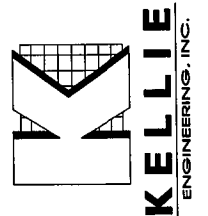
Description of Land Use	% Impervious	Runoff Coefficient "C"
Residential "A-43" one-acre lots (1) (2)	35	0.51
Residential "A-21" half-acre lots	37	0.52
Residential "A-10" 10,000 SF lots	49	0.59
Residential "A-7.5" (3)	55	0.63
Residential "A-5" (3)	61	0.67
Residential "MH", "A-R", "B", "R-1", & "R-2" (3)	65	0.69
Multi-family		
CR	64	0.69
C	79	0.77
D	93	0.86
Commercial/Industrial/House of Worship/School		
4% Open Space (Default if no site plan)	96	0.88
10% Open Space (Site plan required)	90	0.84
20% Open Space (Site plan required)	80	0.78
Parks, Cemeteries	7	0.34
Railroad Yard Areas	29	0.47
Streets: Asphalt, Concrete and Brick	100	0.90
Drives, Walks, and Roofs	100	0.90
Gravel Areas	43	0.56
Unimproved Areas	0	0.30

Assumptions:

- (1) For Residential Calculations:
- Current CFW development standards for minimum lot size and maximum lot coverage (structure) for each classification
- Assumed 10.5' Parkway and 18' driveway
- Assumed 28' B-B street dimension
- Calculated by applying 90% runoff from impervious areas and 30% runoff from pervious areas
(2) Calculated from designated set-backs

Subdivision Construction Plans
WHITNEY CROSSING
14 Lots, 3.086 Acres
Cherry Lane
White Settlement, Tarrant County
TEXAS

P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kellie-engineering.com



Issued:		September 7, 2022	
Revisions:			
No.	Date	Description	
1	10/03/2022	Staff comments 09/22/2022	
2	11/07/2022	Staff comments 10/11/22	
3	01/04/2023	Subdivision with detention	
4	03/06/2023	Staff comments 02/17/23	
Project No. :		2242	
Scale :		REFER TO PLAN	
SHEET TITLE:			
DRAINAGE AREA MAPS			
SHEET:			

25 YR Curb Inlet Calculations

Inlet	Type	Design Criteria	Drainage Areas	Q (cfs)	Rdwy Slope	Y (depth flow)	Inlet Capacity	Inlet length provided	Q captured	Q by-pass	Comments
1	on grade	25-YR	B1 + OS2	10.1	0.0133 ft/ft	0.50 ft	0.90 cfi/ft	10 ft	9.0	1.0	Perry Drive
2	on grade	25-YR	B2	3.6	0.0133 ft/ft	0.35 ft	0.75 cfi/ft	5 ft	3.6	0.0	Perry Drive

100 YR Curb Inlet Calculations

Inlet	Type	Design Criteria	Drainage Areas	Q (cfs)	Rdwy Slope	Y (depth flow)	Inlet Capacity	Inlet length provided	Q captured	Q by-pass	Comments
1	on grade	100-YR	B1 + OS2	11.1	0.0133 ft/ft	0.55 ft	0.95 cfi/ft	10 ft	9.5	1.6	Perry Drive
2	on grade	100-YR	B2	4.4	0.0133 ft/ft	0.50 ft	0.90 cfi/ft	5 ft	4.4	0.0	Perry Drive

PROJECT BENCHMARK

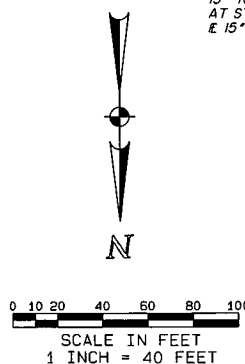
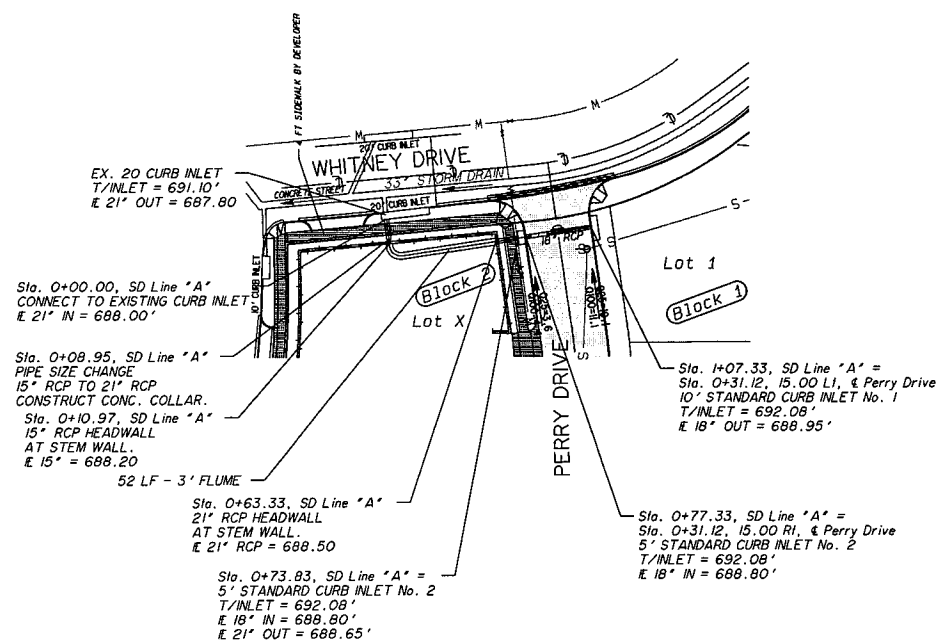
SSMH RIM SOUTHWEST CORNER
OF LOT 1, BLOCK 1
7 FT NORTH OF NORTH CURB LINE
OF WHITNEY ROAD
NORTHING=6858388.9016
EASTING=2290700.5441
ELEV.=693.93

Subdivision Construction Plans

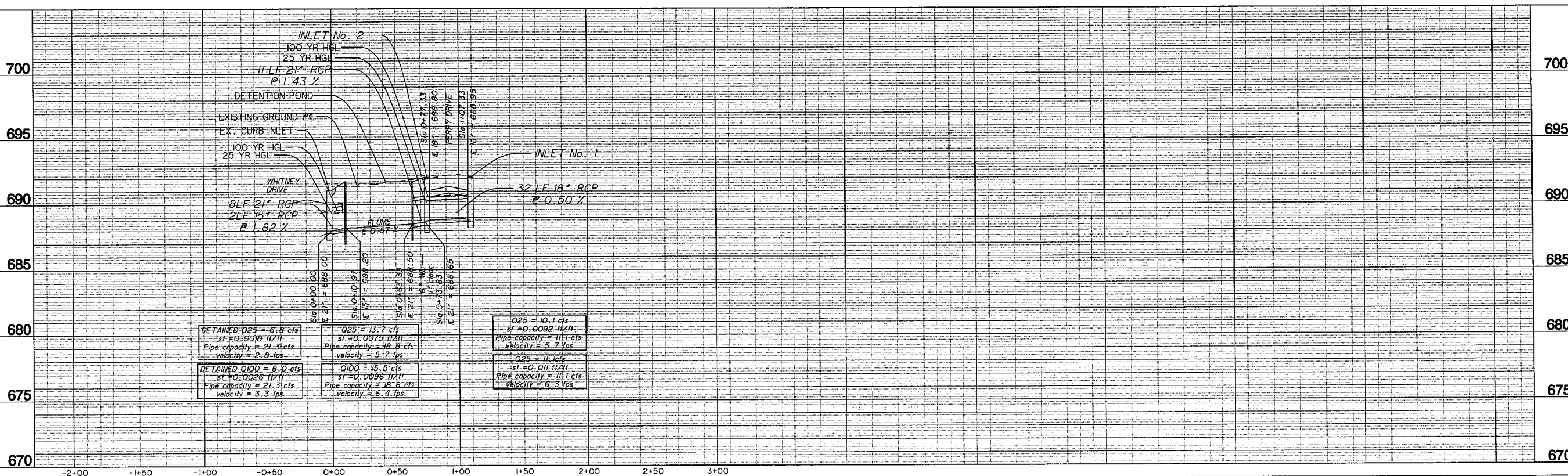
WHITNEY CROSSING

14 Lots, 3.086 Acres

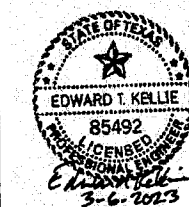
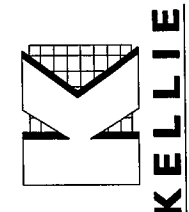
Cherry Lane

White Settlement, Tarrant County
TEXAS

STORM DRAIN LINE "A"



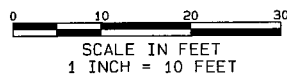
P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kellie-engineering.com



Issued: September 7, 2022		
Revisions	No.	Date
1	10/03/2022	Staff comments 09/22/22
2	11/07/2022	Staff comments 10/11/22
3	01/04/2023	Subdivision with detention
4	03/06/2023	Staff comments 02/17/23
Project No.: 2242		
Scale: 1" = 40' HORIZ. 1" = 4' VERT.		
SHEET TITLE		
STORM DRAIN "A"		
PLAN & PROFILE		
SHEET:		

C3.2

Page 69 of 98



Q25 detention pond discharge limited to 6.8 cfs	Required detention volume = 7950 cf
Q100 detention pond discharge limited to 8.0 cfs	Required detention volume = 9850 cf

Whitney Crossing
 Detention Pond No. 1
 White Settlement, TX

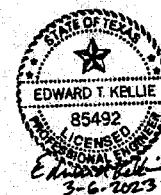
4-Jan-23

100 YEAR STORM - DETENTION CALCULATIONS

INPUT		IDF Constants									
Drainage Area (acres)	3.1	Frequency	1	2	5	10	25	50	100		
Existing C Factor	0.4300		43.853	51.350	71.164	77.103	90.862	97.721	110.202	118	
Existing T _c (min)	15		8	9	12	13	15	18	21	24	
Future C Factor	0.6300		0.82169	0.81144	0.81423	0.79952	0.79381	0.78265	0.77862	0.7782	0.71
Future T _c (min)	15	Existing Discharge	10.63								9,823 ft ³
Design Frequency (yr)	100	Future Discharge	15.58								364 yd ³
		Allowable Discharge (Optional)	8.00								0.225 acre-ft



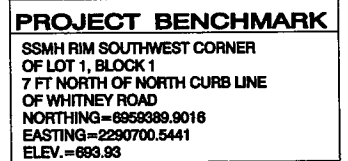
KELLIE
ENGINEERING, INC.



SHEET:

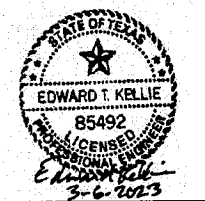
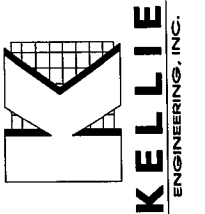
C3.3
Page 70 of 98

Sanitary Sewer Line "A" - Sta. 0+00 to end



Subdivision Construction Plans
WHITNEY CROSSING
14 Lots, 3.086 Acres
Cherry Lane
White Settlement, Tarrant County
TEXAS

P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kelle-engineering.com



Issued: September 7, 2022		
Revisions		
No.	Date	Description
1	10/03/2022	Staff comments 09/22/22
2	11/07/2022	Staff comments 10/11/22
3	01/04/2023	Substitution with detention
4	03/06/2023	Staff comments 02/17/23

Project No. : 2242

Scale : 1" = 40' HORIZ. 1" = 4' VERT.

**SANITARY SEWER
PLAN & PROFILE**

SHEET:

C4.1
Page 71 of 98

1. REFER TO SHEET W1.1 FOR EMBEDMENT, SERVICES, AND FIRE HYDRANT INSTALLATION DETAILS.
2. VERIFY CITY WATER LINE SIZE, MATERIAL, AND LOCATIONS BY POTHOLING PRIOR TO THE START OF CONSTRUCTION. ADJUST FITTINGS AS NEEDED AND NOTIFY ENGINEER FOR THE PREPARATION OF RECORD DRAWINGS.
3. PAVER TO MARK CURB WITH 'S', 'W', AND 'WV' AT SEWER SERVICE, WATER SERVICE AND WATER LINE LOCATIONS RESPECTIVELY.

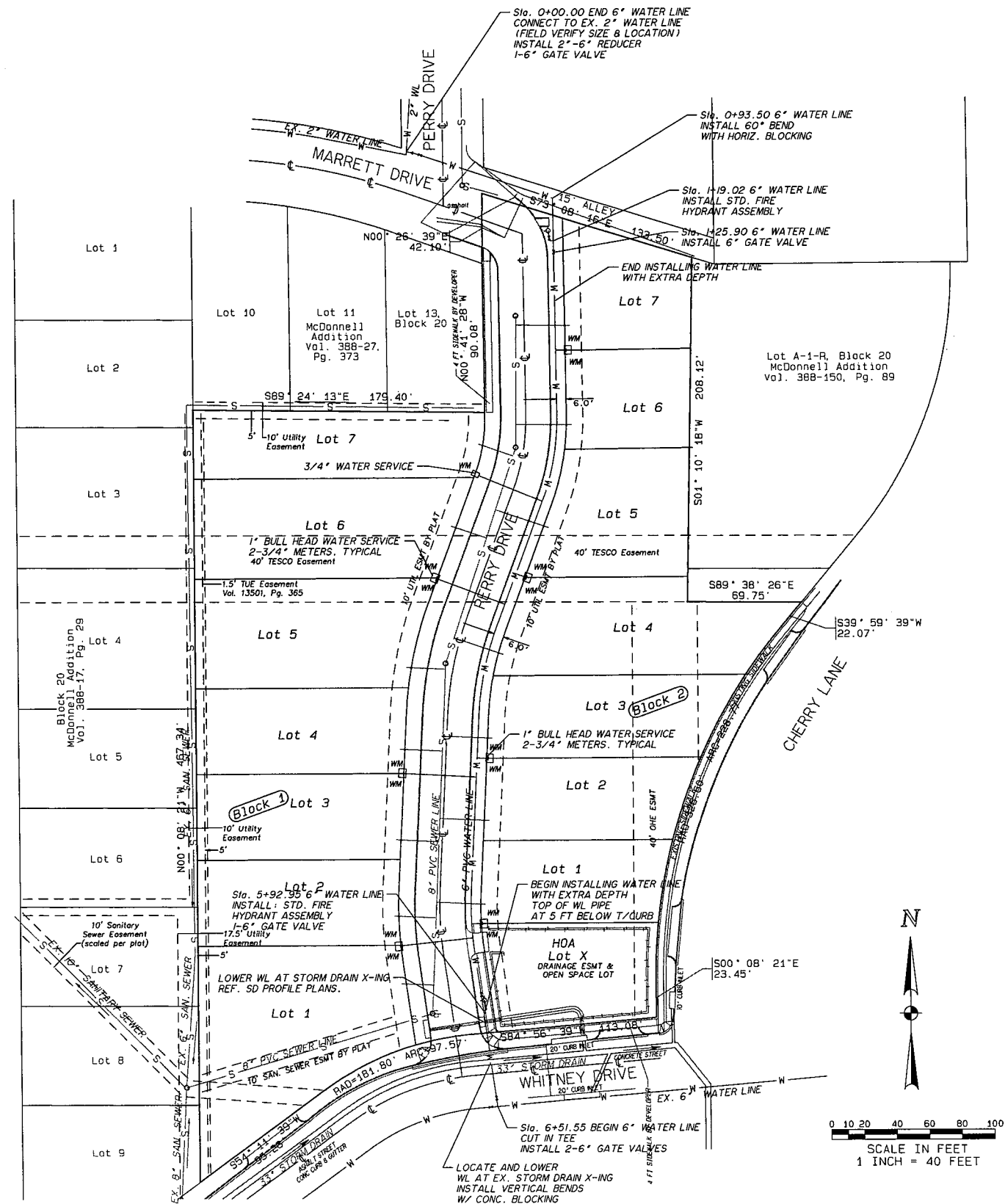
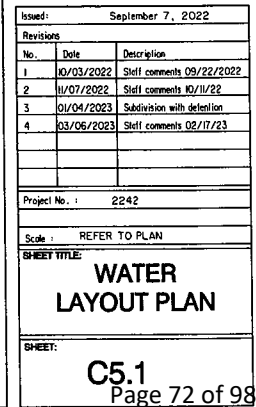
Subdivision Construction Plans

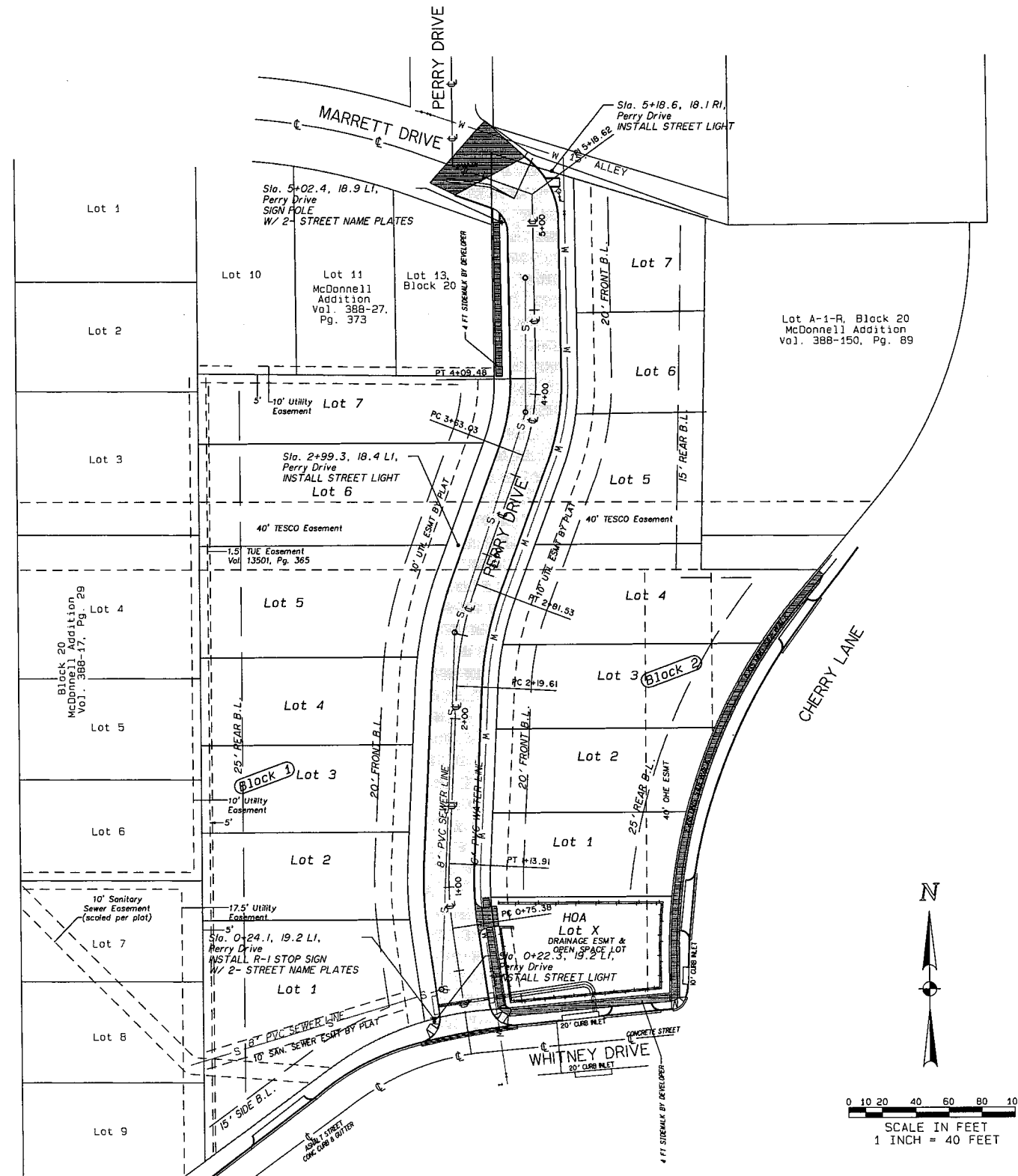
WHITNEY CROSSING

14 Lots, 3.086 Acres
Cherry Lane
White Settlement, Tarrant County
TEXAS



KELLIE
ENGINEERING, INC.



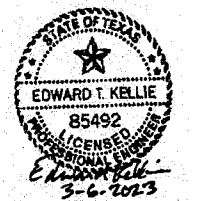
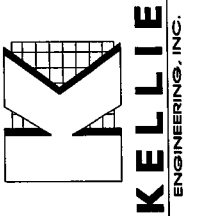


NOTES:

1. COORDINATE STREET LIGHT STYLE & HEIGHT WITH CITY INSPECTOR AND ONCOR ELECTRIC.
2. USE MANUFACTURER'S RECOMMENDED PIER FOUNDATION AND SET ANCHOR BOLTS PER MANUFACTURER'S PATTERN FOR SELECTED LIGHT STYLE.
3. VERIFY IF ADDITIONAL ELECTRICAL EASEMENTS ARE NEEDED TO SERVE THESE STREET LIGHT LOCATIONS.

Subdivision Construction Plans
WHITNEY CROSSING
 14 Lots, 3.086 Acres
 Cherry Lane
 White Settlement, Tarrant County
 TEXAS

P.O. Box 471898
 FORT WORTH, TX 76147
 TEL: 817.455.1396
 FIRM# 7585
 www.kellie-engineering.com



Revisions		
No.	Date	Description
1	10/03/2022	Staff comments 09/22/2022
2	11/07/2022	Staff comments 10/11/22
3	01/04/2023	Subdivision with definition
4	03/06/2023	Staff comments 02/17/23

Project No.: 2242

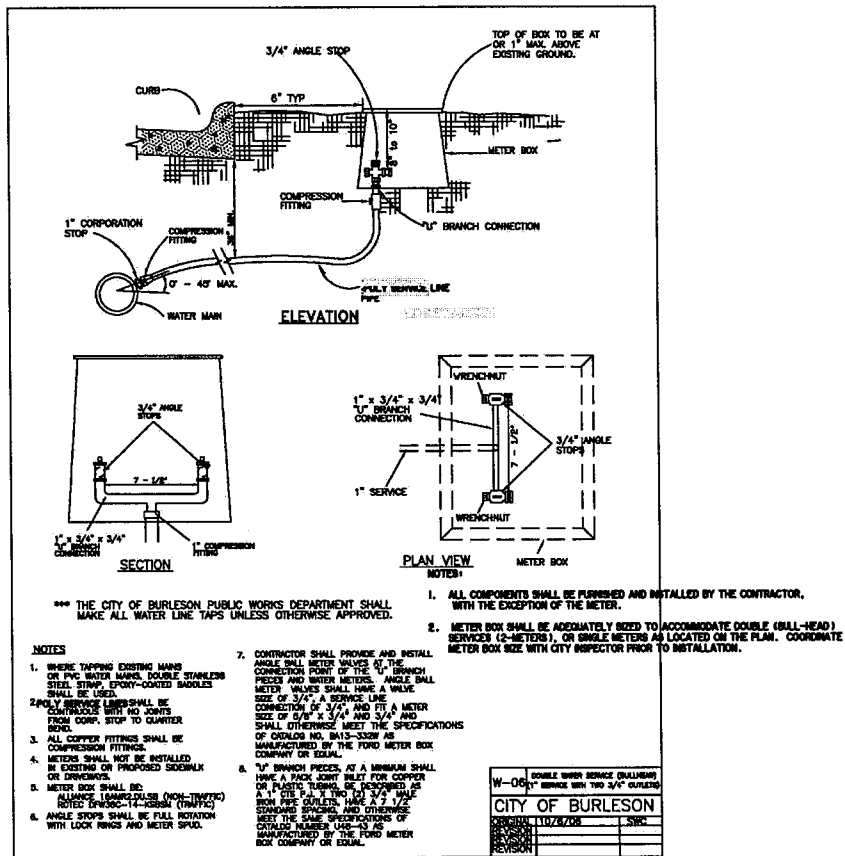
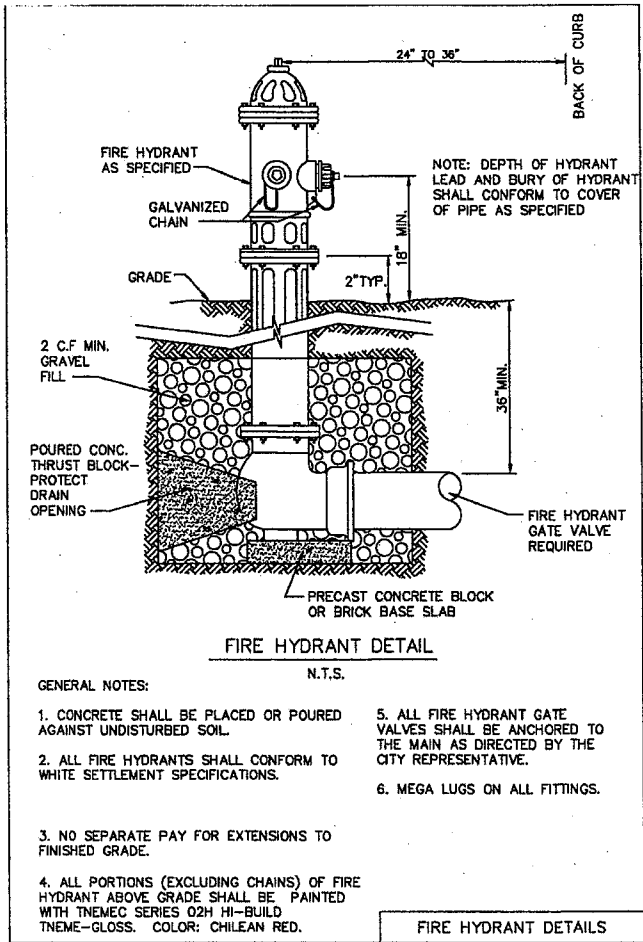
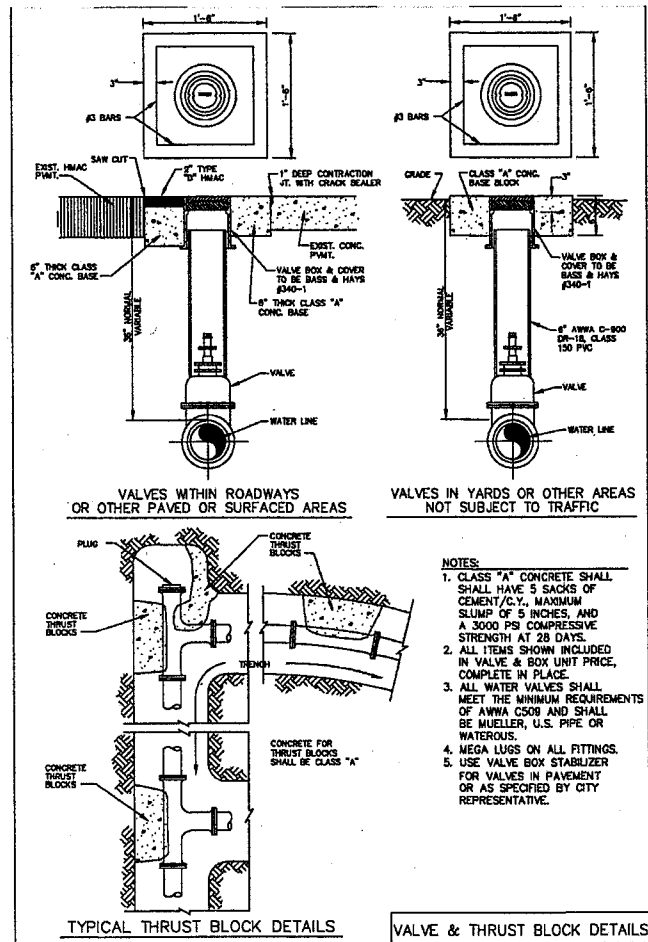
Scale: REFER TO PLAN

SHEET TITLE:

**STREET LIGHT
& SIGN PLAN**

SHEET:

C6.1
 Page 73 of 98



NOTES:

1. CONSTRUCTION DETAILS SELECTED FROM NORTH RICHLAND HILLS AND BURLESON STANDARD DETAILS. DETAILS TYPICAL FOR TARRANT COUNTY CONSTRUCTION. APPROVED FOR USE BY CITY OF WHITE SETTLEMENT, WILSON CLIFF SUBDIVISION 2016.

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ)

RULE §317.13 Appendix E--Separation Distances

The following rules apply to separation distances between potable water and wastewater treatment plants, and waterlines and sanitary sewers.

(1) Waterline/new sewer line separation. When new sanitary sewers are installed, they shall be installed no closer to waterlines than nine feet in all directions. Sewers that parallel waterlines must be installed in separate trenches. Where the nine-foot separation distance cannot be achieved, the following guidelines will apply.

(A) Where a sanitary sewer parallels a waterline, the sewer shall be constructed of cast iron, ductile iron, or polyvinyl chloride (PVC) meeting American Society of Testing and Materials specifications with a pressure rating for the pipe and joints of 150 per square inch (psi). The vertical separation shall be a minimum of two feet between outside diameters and the horizontal separation shall be a minimum of four feet between outside diameters. The sewer shall be located below the waterline.

(B) Where a sanitary sewer crosses a waterline and the sewer is constructed of cast iron, ductile iron, or PVC with a minimum pressure rating of 150 psi, an absolute minimum distance of six inches between outside diameters shall be maintained. In addition, the sewer shall be located below the waterline where possible and one length of the sewer pipe must be centered on the waterline.

(C) Where a sewer crosses under a waterline and the sewer is constructed of ABS truss pipe, similar semi-rigid plastic composite pipe, clay pipe, or concrete pipe with gasketed joints, a minimum two-foot separation distance shall be maintained. The initial backfill shall be cement stabilized sand (two or more bags of cement per cubic yard of sand) for all sections of sewer within nine feet of the waterline. This initial backfill shall be from one quarter diameter below the centerline of the pipe to one pipe diameter (but not less than 12 inches) above the top of the pipe.

(D) Where a sewer crosses over a waterline, all portions of the sewer within nine feet of the waterline shall be constructed of cast iron, ductile iron, or PVC pipe with a pressure rating of at least 150 psi using appropriate adapters. In lieu of this procedure the new conveyance may be encased in a joint of 150 psi pressure class pipe at least 18 feet long and two nominal sizes larger than the new conveyance. The space around the carrier pipe shall be supported at five foot intervals with spacers or be filled to the spring line with washed sand. The encasement pipe should be centered on the crossing and both ends sealed with cement grout or manufactured seal.

(2) Waterline manhole separation. Unless sanitary sewer manholes and the connecting sewer can be made watertight and tested for no leakage, they must be installed so as to provide a minimum of nine feet of horizontal clearance from an existing or proposed waterline. Where the nine-foot separation distance cannot be achieved, a carrier pipe as described in paragraph (1)(D) of this section may be used where appropriate.

The provisions of this §317.13 adopted to be effective November 26, 2015, 40 Tex Reg 8341

Subdivision Construction Plans

WHITNEY CROSSING

14 Lots, 3.086 Acres

Cherry Lane

White Settlement, Tarrant County

TEXAS

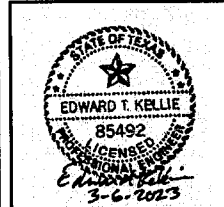
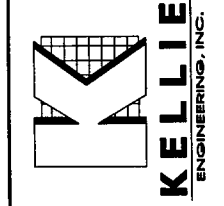
P.O. Box 471898

FORT WORTH, TX 76147

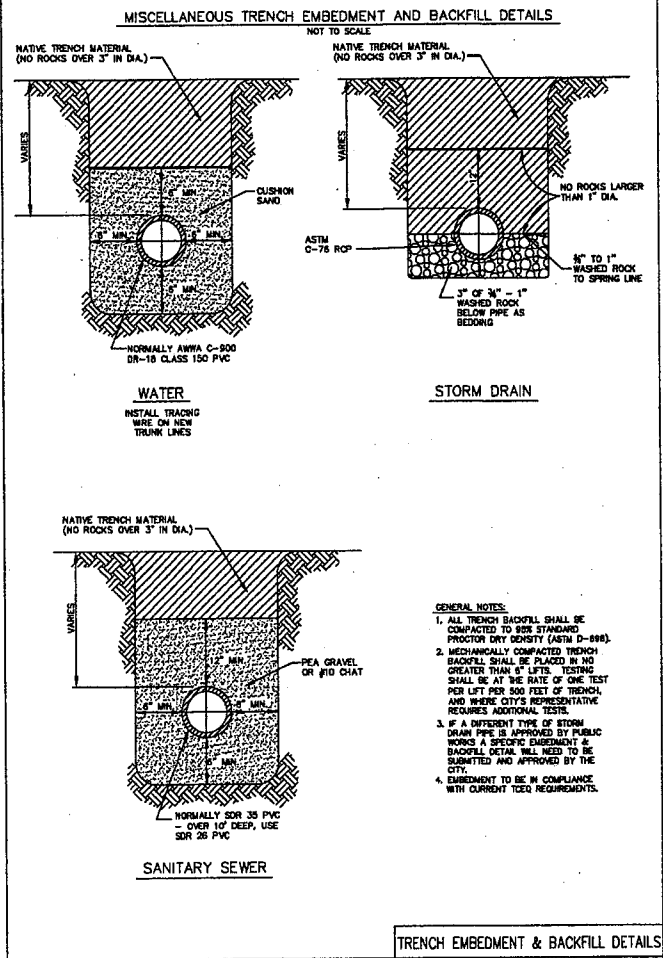
TEL: 817.455.1396

FIRM# 7585

www.kellie-engineering.com

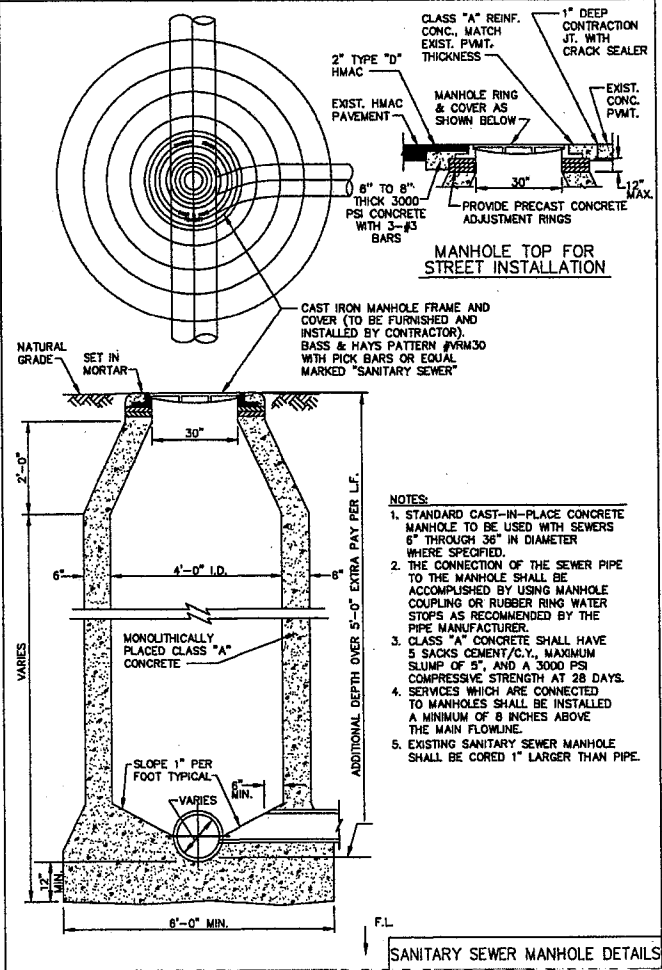


Revised: September 7, 2022	
Revisions	
No.	Date Description
1	10/03/2022 Staff comments 09/22/2022
2	10/07/2022 Staff comments 10/11/22
3	01/04/2023 Subdivision with attention
4	03/06/2023 Staff comments 02/17/23
Project No. : 2242	
Scale : REFER TO PLAN	
SHEET TITLE:	
WATER DETAILS	
SHEET:	
W1.1	



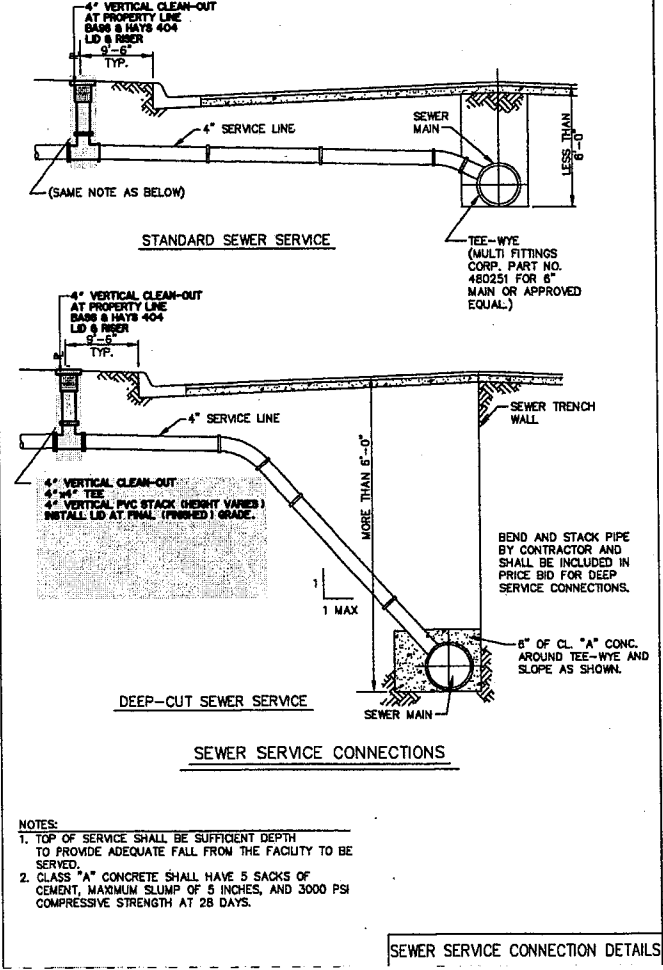
NOTES:

- CONSTRUCTION DETAILS SELECTED FROM NORTH RICHLAND HILLS STANDARD DETAILS. DETAILS TYPICAL FOR TARRANT COUNTY CONSTRUCTION. APPROVED FOR USE BY CITY OF WHITE SETTLEMENT, WILSON CLIFF SUBDIVISION 2016.



NOTES:

MANUFACTURER OF PRE-CAST MANHOLE TO APPLY CONSHIELD CORROSION RESISTANT LINING.



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ)

RULE §317.13 Appendix E--Separation Distances

The following rules apply to separation distances between potable water and wastewater treatment plants, and waterlines and sanitary sewers.

(1) Waterline/new sewer line separation. When new sanitary sewers are installed, they shall be installed no closer to waterlines than nine feet in all directions. Sewers that parallel waterlines must be installed in separate trenches. Where the nine-foot separation distance cannot be achieved, the following guidelines will apply.

(A) Where a sanitary sewer parallels a waterline, the sewer shall be constructed of cast iron, ductile iron, or polyvinyl chloride (PVC) meeting American Society of Testing and Materials specifications with a pressure rating for both the pipe and joints of 150 per square inch (psi). The vertical separation shall be a minimum of two feet between outside diameters and the horizontal separation shall be a minimum of four feet between outside diameters. The sewer shall be located below the waterline.

(B) Where a sanitary sewer crosses a waterline and the sewer is constructed of cast iron, ductile iron, or PVC with a minimum pressure rating of 150 psi, an absolute minimum distance of six inches between outside diameters shall be maintained. In addition, the sewer shall be located below the waterline where possible and one length of the sewer pipe must be centered on the waterline.

(C) Where a sewer crosses under a waterline and the sewer is constructed of ABS truss pipe, similar semi-rigid plastic composite pipe, clay pipe, or concrete pipe with gasketed joints, a minimum two-foot separation distance shall be maintained. The initial backfill shall be cement stabilized sand (two or more bags of cement per cubic yard of sand) for all sections of sewer within nine feet of the waterline. This initial backfill shall be from one quarter diameter below the centerline of the pipe to one pipe diameter (but not less than 12 inches) above the top of the pipe.

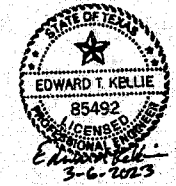
(D) Where a sewer crosses over a waterline, all portions of the sewer within nine feet of the waterline shall be constructed of cast iron, ductile iron, or PVC pipe with a pressure rating of at least 150 psi using appropriate adapters. In lieu of this procedure the new conveyance may be encased in a joint of 150 psi pressure class pipe at least 18 feet long and two nominal sizes larger than the new conveyance. The space around the carrier pipe shall be supported at five feet intervals with spacers or be filled to the spring line with washed sand. The encasement pipe should be centered on the crossing and both ends sealed with cement grout or manufactured seal.

(2) Waterline manhole separation. Unless sanitary sewer manholes and the connecting sewer can be made watertight and tested for no leakage, they must be installed so as to provide a minimum of nine feet of horizontal clearance from an existing or proposed waterline. Where the nine-foot separation distance cannot be achieved, a carrier pipe as described in paragraph (1)(D) of this section may be used where appropriate.

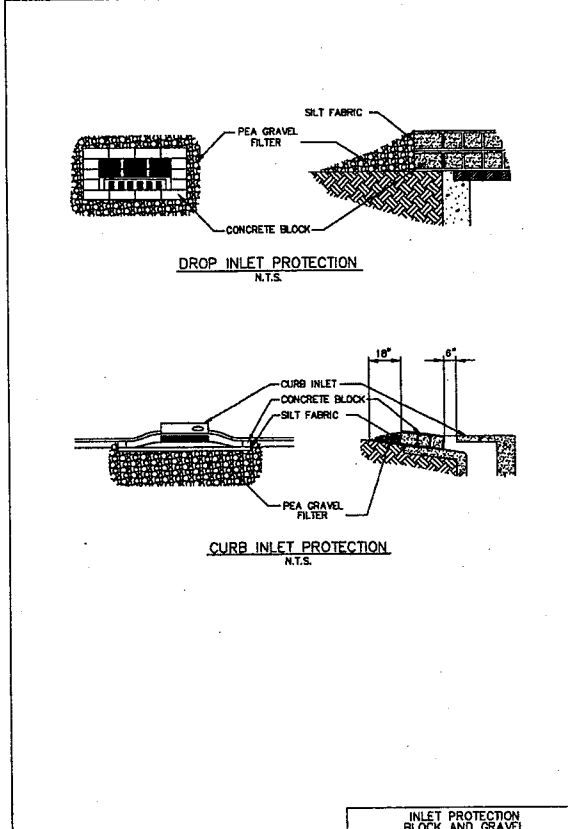
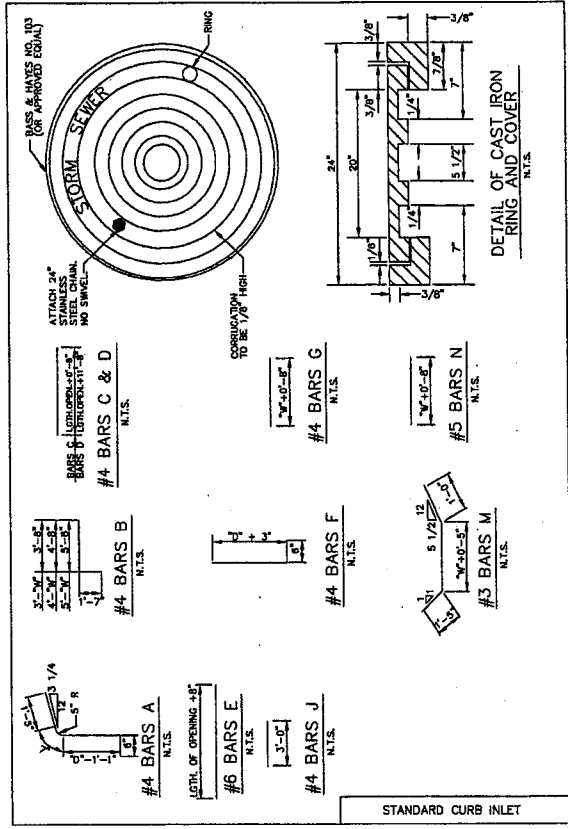
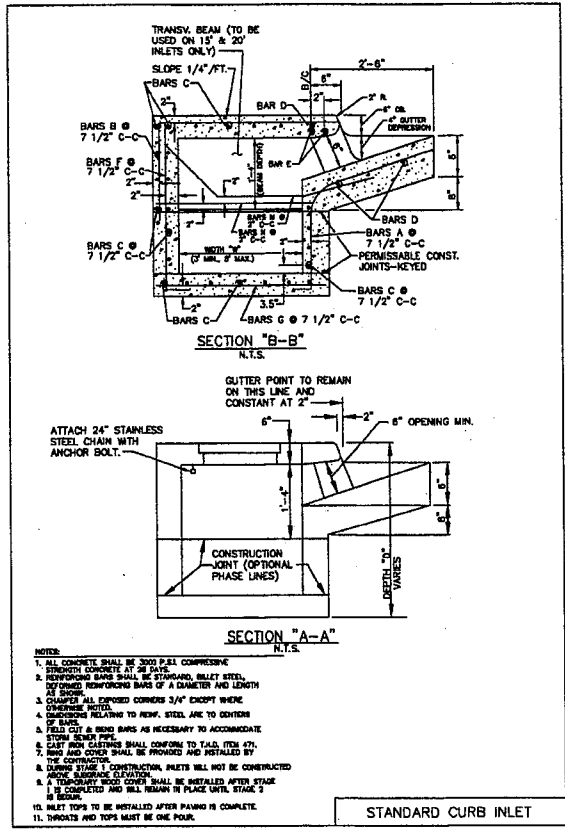
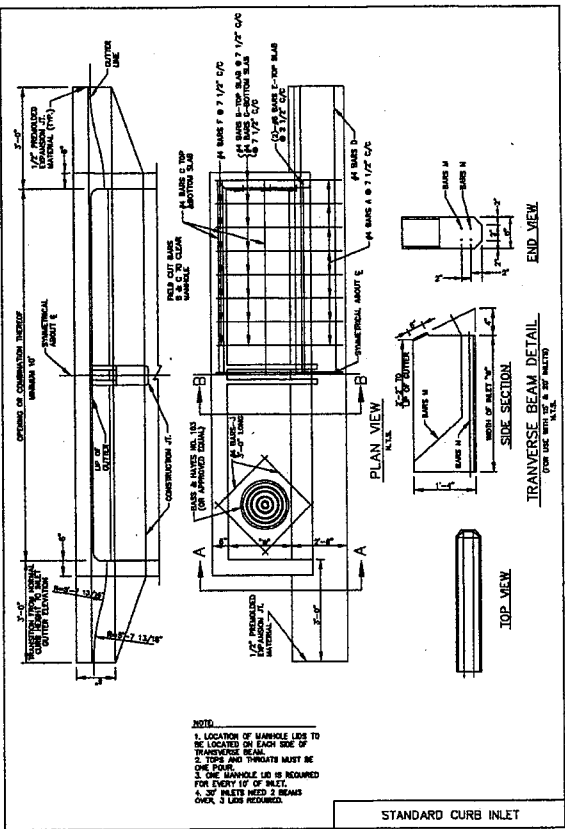
The provisions of this §317.13 adopted to be effective November 26, 2015, 40 Tex Reg 8341

Subdivision Construction Plans
WHITNEY CROSSING
14 Lots, 3.086 Acres
Cherry Lane
White Settlement, Tarrant County
TEXAS

P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kelle-engineering.com



Revised: September 7, 2022		
No.	Date	Description
1	01/03/2022	Staff comments 09/22/2022
2	01/07/2022	Staff comments 10/11/22
3	01/04/2023	Subdivisions with deletion
4	03/06/2023	Staff comments 02/17/23
Project No.: 2242		
Scale: REFER TO PLAN		
SHEET TITLE: SANITARY SEWER DETAILS		
SHEET: S1.1		

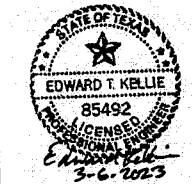
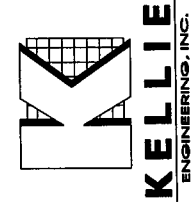


NOTES:

1. CONSTRUCTION DETAILS SELECTED FROM NORTH RICHLAND HILLS STANDARD DETAILS. DETAILS TYPICAL FOR TARRANT COUNTY CONSTRUCTION. APPROVED FOR USE BY CITY OF WHITE SETTLEMENT, WILSON CLIFF SUBDIVISION 2016.

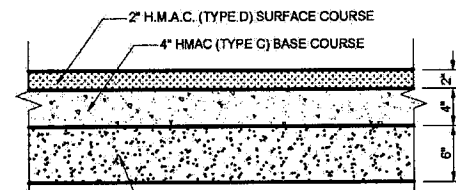
Subdivision Construction Plans
WHITNEY CROSSING
 14 Lots, 3.086 Acres
 Cherry Lane
 White Settlement, Tarrant County
 TEXAS

P.O. Box 471898
 FORT WORTH, TX 76147
 TEL: 817.455.1396
 FIRM# 7585
 www.kellie-engineering.com



Revised:		September 7, 2022
Revisions		
No.	Date	Description
1	10/03/2022	Staff comments 09/22/2022
2	11/07/2022	Staff comments 10/11/22
3	01/04/2023	Subdivision with details
4	03/06/2023	Staff comments 02/17/23
Project No. :		2242
Scale :	REFER TO PLAN	
SHEET TITLE:		
STORM DRAIN DETAILS		
SHEET:		
SD1.1		

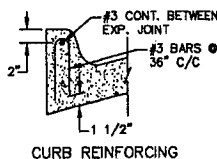
RESIDENTIAL STREETS ASPHALT PAVEMENT SECTION



ASPHALT PAVING CROSS SECTION

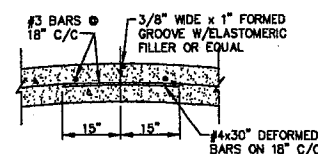
NOTE:

CUT OF 6" INTO EXISTING PAVEMENT IS REQUIRED FOR CONSTRUCTION JOINT WITH NEW POURS TO GET A SMOOTH FINISH

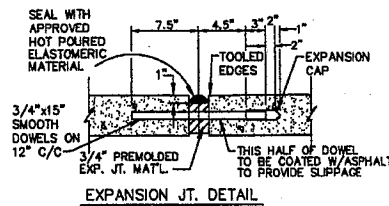


CURB REINFORCING

RESIDENTIAL STREETS REINFORCED CONCRETE PAVEMENT



LONGITUDINAL CONST. JT. DETAIL

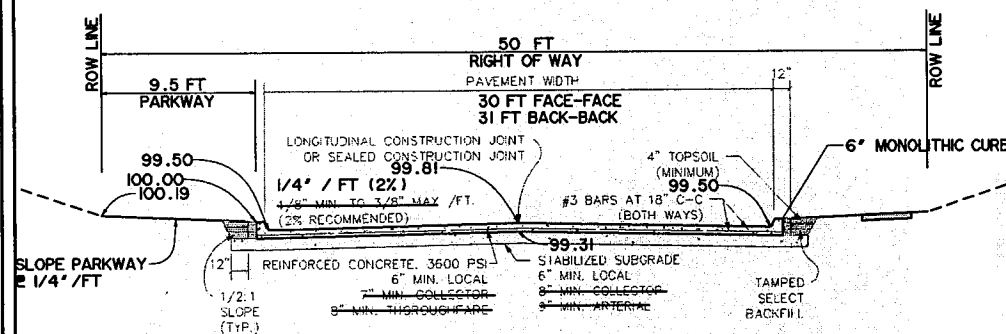


EXPANSION JT. DETAIL

NOTES:

- CONSTRUCTION DETAILS SELECTED FROM NORTH RICHLAND HILLS STANDARD DETAILS. DETAILS TYPICAL FOR TARRANT COUNTY CONSTRUCTION. APPROVED FOR USE BY CITY OF WHITE SETTLEMENT, WHITNEY CROSSING SUBDIVISION 2022.

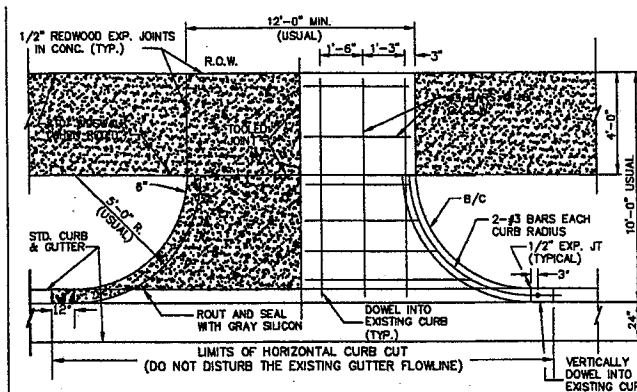
Right-of-Way Grading



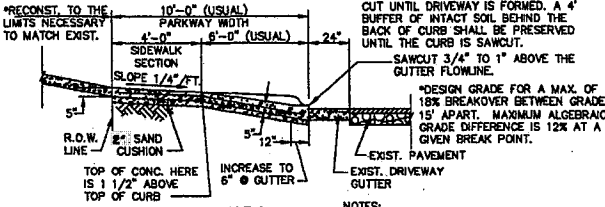
TYPICAL UNDIVIDED CONCRETE SECTION (CURB AND GUTTER)

UNDIVIDED STREET SECTIONS

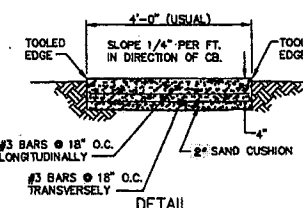
- SUBGRADE STABILIZATION**
- AFTER GRADING THE ROADWAY, SCARIFYING, AND RE-COMPACTING THE SUBGRADE THE DEVELOPER SHALL HAVE THE SUBGRADE TESTED BY A GEOTECHNICAL ENGINEERING COMPANY WHO WILL PROVIDE A SUBGRADE STABILIZATION RECOMMENDATION. TYPICALLY:
SOIL PI STABILIZATION METHOD
0-10 3% CEMENT
11-16 MECHANICAL COMPACTION
17+ 6% LIME
 - A TESTING LABORATORY SHALL PROVIDE DENSITY TESTING ON THE COMPACTED SUBGRADE PRIOR TO PAVEMENT PLACEMENT.
 - THE SUBGRADE SHALL BE PROOF-ROLLED WITH HEAVY EQUIPMENT AND ANY NON-PERFORMING AREAS EXCAVATED AND REPLACED WITH PERFORMING MATERIALS PRIOR TO PAVEMENT PLACEMENT



PLAN



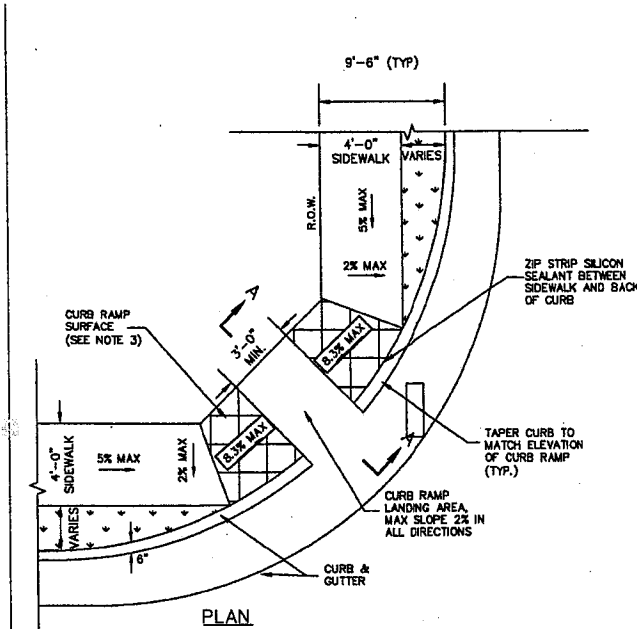
SECTION



DETAIL

STANDARD SIDEWALK

RESIDENTIAL DRIVE DETAILS

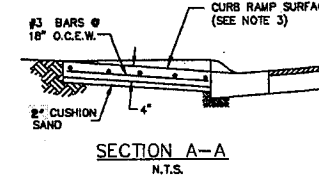


PLAN

N.T.S.

NOTE:

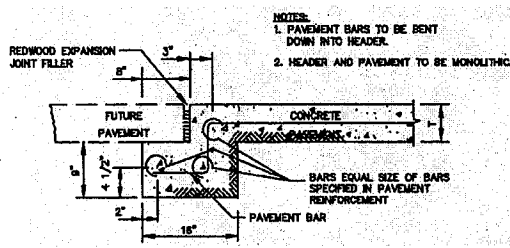
- ALL SIDEWALKS AND CURB RAMPS SHALL BE CONSTRUCTED OF CLASS "A" CONCRETE WITH 5 SACKS OF CEMENT/C.Y., MAXIMUM SLUMP OF 5 INCHES, AND A 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- CURB RAMP SURFACE COLOR SHALL BE BRICK RED.
- CURB RAMP SURFACE SHALL COMPLY WITH CURRENT REQUIREMENTS OF TEXAS ACCESSIBILITY STANDARDS AND AMERICANS WITH DISABILITY ACT (ADA). SURFACES MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO CONSTRUCTING THE CURB RAMP.
- CURB RAMPS MUST COMPLY WITH ALL REQUIREMENTS OF TEXAS ACCESSIBILITY STANDARDS SECTION 4.7.



SECTION A-A

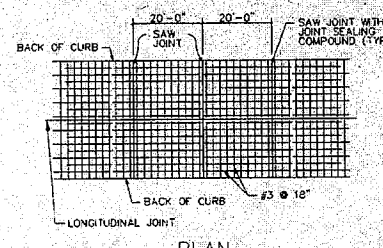
N.T.S.

CURB RAMP DETAIL 1



NOTES:

- PAVEMENT BARS TO BE BENT DOWN INTO HEADER.
- HEADER AND PAVEMENT TO BE MONOLITHIC.

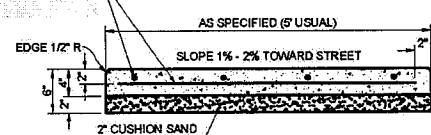


PLAN

NOTES:

- CONSTRUCT SAW JOINTS AT 20' (MAX).
- EXPANSION JOINTS TO BE AT INTERSECTIONS, BRIDGES AND OTHER STRUCTURES.
- EXPANSION JOINT SPACING SHALL NOT EXCEED 240'.
- ALL JOINTS TO BE PROPERLY SEALED WITH JOINT SEALING COMPOUND CONSISTING OF HOT POURED RUBBER PER SPEC. ITEM 2.2.10.
- MONOLITHIC CURB SHALL BE USED WITH THIS TYPE OF PAVING.
- LONGITUDINAL SAW JOINT REQUIRED FOR EACH LANE SEPARATION.
- STEEL TO EXTEND TO BACK OF CURB.

LONGITUDINAL BARS - SEE DETAIL RIGHT HORIZONTAL #3 BARS AT 18" ON CENTER

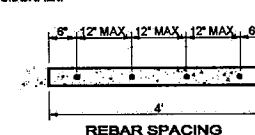


SECTION B

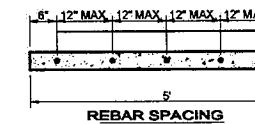
N.T.S.

	CONSTRUCTED MAX.
CROSS SLOPE	2%
RUNNING SLOPE	5% MAX WHEN ADJACENT STREET ≤ 5%

NOTE: WHEN CONCRETE WALK IS ADJACENT TO CURB, DEPTH OF EXPANSION JOINT MATERIAL SHALL BE SUFFICIENT TO PREVENT CONCRETE TO CONCRETE CONTACT BETWEEN WALK AND CURB. WALK SHALL BE 5" WHEN NEXT TO CURB. REBARS SHALL BE PLACED NO CLOSER THAN 6" FROM EDGE OF SIDEWALK.



REBAR SPACING

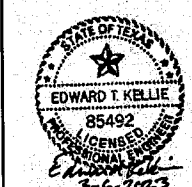
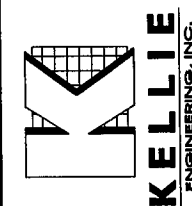


REBAR SPACING

CONCRETE SHALL BE 3000 PSI MIN. COMPRESSIVE STRENGTH WITH A MAXIMUM 5-INCH SLUMP.
2" SAND CUSHION UNDER SIDEWALK FORMS.

Subdivision Construction Plans
WHITNEY CROSSING
14 Lots, 3.086 Acres
Cherry Lane
White Settlement, Tarrant County
TEXAS

P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kellie-engineering.com

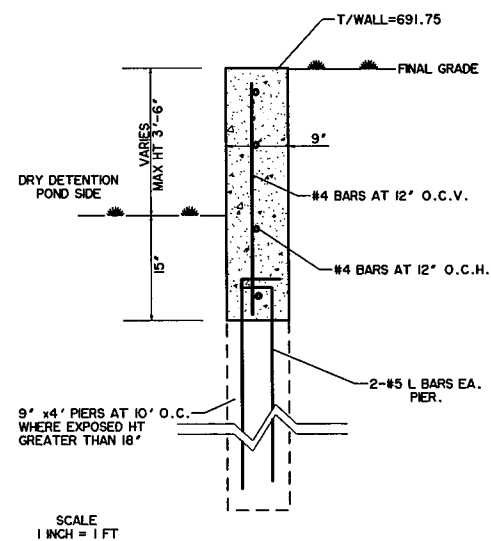


Revised:		September 7, 2022	
Revisions			
No.	Date	Description	
1	10/03/2022	Staff comments 09/22/22	
2	11/07/2022	Staff comments 10/11/22	
3	01/04/2023	Subdivision with details	
4	03/06/2023	Staff comments 02/17/23	
Project No. :		2242	
Scale :		REFER TO PLAN	
SHEET TITLE			
PAVING DETAILS			
SHEET:			
P1.1			

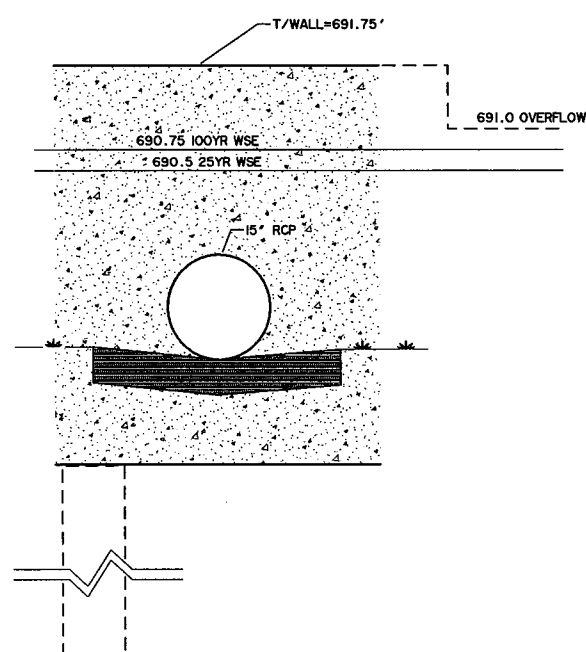
STAGE-DISCHARGE SUMMARY

W.S. ELEVATION	PIPE Hw (FT)	Hw/D	1-15" PIPE DISCHARGE RATE (cfs)	DETENTION VOLUME PROVIDED (CF)	REQUIRED VOLUME (CF)	COMMENT
688.25	0.00	0.0	0.0	0		flow line 15" RCP outlet pipe
688.50	0.25	0.2	0.3	50		
688.75	0.50	0.4	0.8	310		
689.00	0.75	0.6	1.8	1,600		
689.25	1.00	0.8	2.8	2,840		
689.50	1.25	1.0	3.9	4,080		
689.75	1.50	1.2	4.9	5,320		
690.00	1.75	1.4	5.7	6,560		
690.25	2.00	1.6	6.2	7,800		
690.50	2.25	1.8	7.0	9,040	7,950	25 yr detention discharge level
690.75	2.50	2.0	8.0	10,280	9,850	100 yr detention discharge level
691.00	2.75	2.2	8.5	11,520		OVER FLOW WEIRS

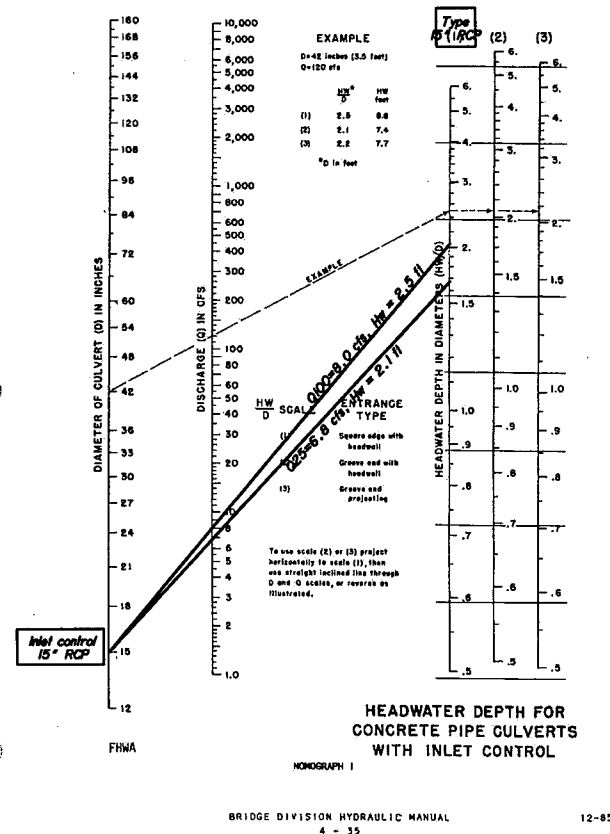
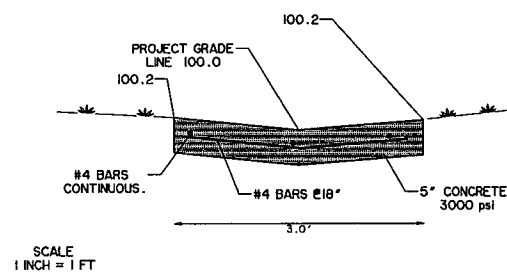
STEM WALL DETAIL



DETENTION OUTLET DETAIL



FLUME DETAIL



Subdivision Construction Plans

WHITNEY CROSSING

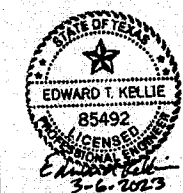
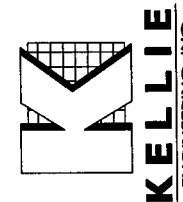
14 Lots, 3.086 Acres

Cherry Lane

White Settlement, Tarrant County

TEXAS

P.O. Box 471898
FORT WORTH, TX 76147
TEL: 817.455.1396
FIRM# 7585
www.kellie-engineering.com



Revisions		
No.	Date	Description
1	01/03/2022	Staff comments 09/22/2022
2	01/07/2022	Staff comments 10/11/22
3	01/04/2023	Subdivision with detention
4	03/06/2023	Staff comments 02/17/23

Project No. 2242

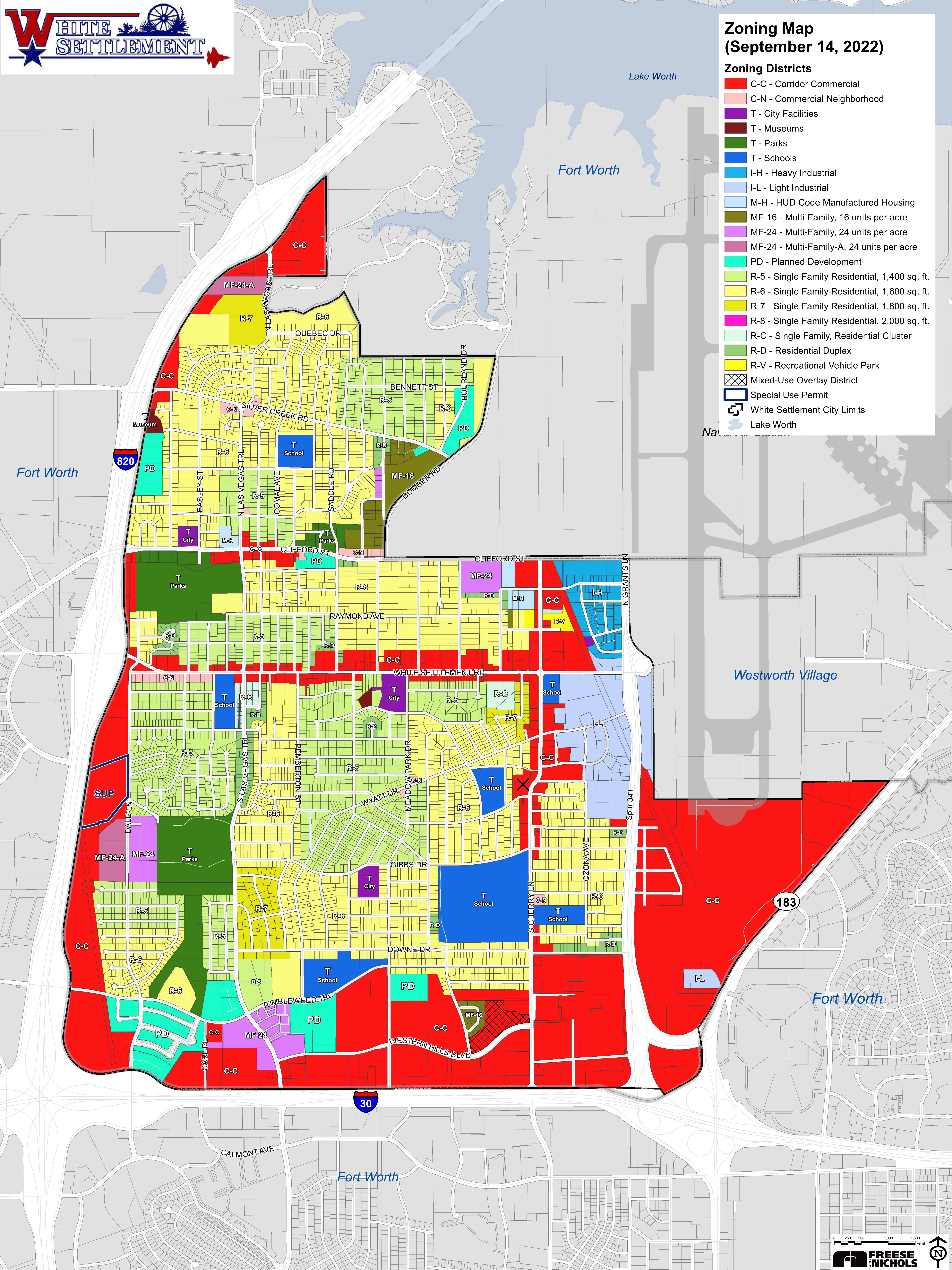
Scale: REFER TO PLAN
Sheet Title:
DETENTION POND WALL DETAILS

Sheet:
DP1.1



Zoning Map (September 14, 2022)

- Zoning Districts**
- C-C - Corridor Commercial
 - C-N - Commercial Neighborhood
 - T - City Facilities
 - T - Museums
 - T - Parks
 - T - Schools
 - I-H - Heavy Industrial
 - I-L - Light Industrial
 - M-H - HUD Code Manufactured Housing
 - MF-16 - Multi-Family, 16 units per acre
 - MF-24 - Multi-Family, 24 units per acre
 - MF-24 - Multi-Family-A, 24 units per acre
 - PD - Planned Development
 - R-5 - Single Family Residential, 1,400 sq. ft.
 - R-6 - Single Family Residential, 1,600 sq. ft.
 - R-7 - Single Family Residential, 1,800 sq. ft.
 - R-8 - Single Family Residential, 2,000 sq. ft.
 - R-C - Single Family, Residential Cluster
 - R-D - Residential Duplex
 - R-V - Recreational Vehicle Park
 - Mixed-Use Overlay District
 - Special Use Permit
 - White Settlement City Limits
 - Lake Worth





To: City Council

From: Robert Nunley, Planning and Development Director

Date: August 1, 2023

The agreement between The City of White Settlement and GRB Development LLC is for installing Water, Sewer, Stormwater, and Streets. Once improvements are completed and accepted by The City of White Settlement, GRB Development LLC will be responsible for the utilities for two years. After the two years pass, The City of White Settlement will take ownership and maintain the utilities.



COMMUNITY FACILITIES APPLICATION

City of White Settlement • Planning and Development
214 Meadow Park Drive White Settlement, TX 76108
817-246-4971 ext. 227 permits@wstx.us

DEVELOPER INFORMATION:

Developer: G B B Development LLC
Developer's officer / agent: Glen Burda
Address: 2795 Johnson Road, Southlake, TX 76092
Business Phone: 817-991-8581 Other Phone _____ email: _____

PROJECT INFORMATION:

Project Name: Whitney Crossing Project Manager (if different from Developer): _____
Project address or location: 730 S. Chetty Lane
Legal Description: Lot 12 and portion of Lot A20 McDonnell Addition
Description of improvements to be made: 14 residential lots, build water, sewer, storm sewer, streets

PROJECT EXHIBITS:

Include the following exhibits with application. Application, exhibits and any other supporting documents may be submitted electronically via email to permits@wstx.us.

- ____ Three (3) sets of plans and specifications prepared by registered and licensed civil engineer
____ Three (3) copies of each contract entered into by developer for installation of facilities
____ Vicinity Map

The following plans have been reviewed by a registered and licensed engineer employed by applicant:

Utilities ☒ yes ☐ no If no, explain _____
Storm drainage ☒ yes ☐ no If no, explain _____
Street Improvement ☒ yes ☐ no If no, explain _____

COST ESTIMATES:

Water facilities \$ 89,230.00
Sanitary sewage \$ 90,360.00
Storm drainage \$ 43,600.00
Street Improvement \$ 260,753.00

Summary of applicable fees:

Type	Estimated Construction Cost	Inspection Fee 4 %
1. Water	\$ <u>89,230.00</u>	\$ <u>3,569.20</u>
2. Sewer	\$ <u>90,360.00</u>	\$ <u>3,614.40</u>
3. Storm Drain	\$ <u>43,600.00</u>	\$ <u>1,744.00</u>
4. Streets	\$ <u>260,753.00</u>	\$ <u>10,430.12</u>

Signature: Glen R. Burda Date: April 10, 2023
Printed Name: Glen R. Burda Title: _____

City Use Only: Received on _____ Reviewed & Filed by _____

**WHITE SETTLEMENT FINANCE DEPARTMENT
EXTERNAL CORRESPONDENCE MEMORANDUM
INFORMAL REPORT TO MAYOR AND COUNCIL**

TO: WHITE SETTLEMENT CITY COUNCIL

FROM: KRYSTAL CRUMP

REF: PUBLIC HEARING AND ORDINANCE ADOPTING CCPD BUDGET

DATE: AUGUST 1, 2023

ISSUE

Th White Settlement Finance Department is requesting public hearing and approval of ordinance to approve the Crime Control and Prevention District (CCPD) FY2023-2024 Budget.

DISCUSSION

The Crime Control and Prevention District (CCPD) Board held their public hearing and approved the budget on June 22, 2023 which is the required 100 days prior to beginning of the October 1 fiscal year start date.

The required notices of public hearing for CCPD board and City Council meetings were published.

ACTION

The finance department is requesting the City Council approve the ordinance to approve the CCPD FY 2023-2024 Budget.

COSTS

CCPD Fund	\$0.00
-----------	--------

ADDITIONAL INFORMATION

Attached: Ordinance
FY 2023- 2024 Budget

STAFF CONTACT(S)

Krystal Crump
Finance Director
817-246-4971 ext 851
kcrump@wstx.us

Jeffrey James
City Manager
817-246-4971 ext 253
jjames@wstx.us

FUNDS Filter

CCPD FUND

Category	Account	2021-22 Actual	2022-23 Original	2022-23 Actual	2023-24 Budget	2024-25 Budget
SALES AND USE TAXES		1,435,560	1,383,000	811,856	1,424,490	1,467,225
SALES AND USE TAXES	(08-400-02-005) .5% CRIME DISTRICT SALES TAX	1,435,560	1,383,000	811,856	1,424,490	1,467,225
INTEREST INCOME		7,449	2,500	19,661	5,000	5,000
INTEREST INCOME	(08-400-60-601) INTEREST INCOME	7,449	2,500	19,661	5,000	5,000
OTHER REVENUE		19,485	0	54,823	30,000	0
OTHER REVENUE	(08-400-70-724) SALE OF ENTERPRISE ASSET	19,110	0	54,823	30,000	0
OTHER REVENUE	(08-400-70-701) MISCELLANEOUS REVENUE	375	0	0	0	0
Total		1,462,494	1,385,500	886,340	1,459,490	1,472,225

Bucket	Category	Account	2021-22 Actual	2022-23 Original	2022-23 Actual	2023-24 Budget	2024-25 Budget
	MATERIALS & SUPPLIES		50,313	71,473	51,063	87,225	72,755
VEHICLE/EQUIPMENT	MATERIALS & SUPPLIES	(08-551-10-109) MISC MATERIALS & SUPPLIES	0	3,330	344	3,830	3,830
VEHICLE/EQUIPMENT	MATERIALS & SUPPLIES	(08-551-10-111) AMMUNITION	5,704	12,332	5,527	10,712	10,712
STAFFING	MATERIALS & SUPPLIES	(08-551-10-113) UNIFORMS	39,498	42,841	31,566	58,783	47,313
VEHICLE/EQUIPMENT	MATERIALS & SUPPLIES	(08-551-10-118) TOOLS & EQUIPMENT < 5,000	5,110	12,970	13,626	13,900	10,900
	CONTRACTUAL SERVICES		480,262	589,567	388,965	526,686	500,077
ADMINISTRATIVE	CONTRACTUAL SERVICES	(08-551-20-214) OTHER PROFESSIONAL SERVICES	25,580	73,201	17,222	24,385	24,792
VEHICLE/EQUIPMENT	CONTRACTUAL SERVICES	(08-551-20-219) CELL PHONES/AIR CARDS	9,013	5,931	2,166	8,662	8,662
TECHNOLOGY	CONTRACTUAL SERVICES	(08-551-20-221) ANNUAL COMPUTER MAINTENANCE	49,213	28,120	55,697	26,745	17,945
VEHICLE/EQUIPMENT	CONTRACTUAL SERVICES	(08-551-20-222) ENTERPRISE VEHICLE MAINTENANCE	1,220	1,152	832	1,224	1,224
VEHICLE/EQUIPMENT	CONTRACTUAL SERVICES	(08-551-20-223) VEHICLE MAINTENANCE/REPAIRS	73,050	78,616	27,032	53,050	53,050
VEHICLE/EQUIPMENT	CONTRACTUAL SERVICES	(08-551-20-224) EQUIPMENT MAINTENANCE/REPAIRS	53,974	62,941	38,826	850	850
STAFFING	CONTRACTUAL SERVICES	(08-551-20-228) INSURANCE	140	140	0	140	140
ADMINISTRATIVE	CONTRACTUAL SERVICES	(08-551-20-229) DUES/SUBSCRIPTIONS/MEMBERSHIPS	190	0	0	0	0
STAFFING	CONTRACTUAL SERVICES	(08-551-20-233) TRAVEL & TRAINING	26,954	38,940	18,818	43,045	39,545
ADMINISTRATIVE	CONTRACTUAL SERVICES	(08-551-20-242) CONTRIBUTE TO OTHER AGENCIES	9,600	9,600	9,600	11,930	11,930
ADMINISTRATIVE	CONTRACTUAL SERVICES	(08-551-20-245) ADMIN COST TO GENERAL FUND	71,679	69,150	53,348	71,225	73,361
TECHNOLOGY	CONTRACTUAL SERVICES	(08-551-20-246) PAYMENT PLAN - TASERS	9,504	0	5,000	18,446	23,446
TECHNOLOGY	CONTRACTUAL SERVICES	(08-551-20-247) PAYMENT PLAN - RADIOS	54,033	0	0	0	0
TECHNOLOGY	CONTRACTUAL SERVICES	(08-551-20-248) PAYMENT PLAN - BODYWORN CAMERA	0	0	0	42,276	42,276
TECHNOLOGY	CONTRACTUAL SERVICES	(08-551-20-249) PAYMENT PLAN - COMPUTERS	0	0	0	9,294	9,294
TECHNOLOGY	CONTRACTUAL SERVICES	(08-551-20-252) COMPUTER SOFTWARE < \$5,000	360	0	0	0	0
TECHNOLOGY	CONTRACTUAL SERVICES	(08-551-20-253) COMPUTER RELATED EQUIP < \$5K	4,105	25,400	18,370	0	0
VEHICLE/EQUIPMENT	CONTRACTUAL SERVICES	(08-551-20-254) ENTERPRISE LEASE	91,646	196,376	142,055	215,415	193,563
	CAPITAL OUTLAY		0	0	7,446	145,734	0
VEHICLE/EQUIPMENT	CAPITAL OUTLAY	(08-551-40-410) MOTOR VEHICLES	0	0	7,446	0	0
VEHICLE/EQUIPMENT	CAPITAL OUTLAY	(08-551-40-415) OTHER EQUIPMENT	0	0	0	145,734	0
	TRANSFERS TO		751,275	807,288	807,288	854,025	875,376

ADMINISTRATIVE	TRANSFERS TO	(08-551-70-701) TRANSFER TO GENERAL FUND	751,275	807,288	807,288	854,025	875,376
	Total		1,281,850	1,468,328	1,254,762	1,613,670	1,448,208
Revenues Less Expenses			180,644	(82,828)	(368,422)	(154,180)	24,017
Fund Balance			1,292,205	1,209,377	923,783	1,056,883	1,080,899

**WHITE SETTLEMENT FINANCE DEPARTMENT
EXTERNAL CORRESPONDENCE MEMORANDUM
INFORMAL REPORT TO MAYOR AND COUNCIL**

TO: WHITE SETTLEMENT CITY COUNCIL

FROM: KRYSTAL CRUMP

REF: PUBLIC HEARING AND ORDINANCE ADOPTING EDC BUDGET

DATE: AUGUST 1, 2023

ISSUE

Th White Settlement Finance Department is requesting public hearing and approval of ordinance to approve the Economic Development Corporation (EDC) FY2023-2024 Budget.

DISCUSSION

The Economic Development Corporation (EDC) Board held their public hearing and approved the budget on July 6, 2023.

The required notices of public hearing for EDC board and City Council meetings were published.

ACTION

The finance department is requesting the City Council approve the ordinance to approve the EDC FY 2023-2024 Budget.

COSTS

EDC Fund	\$0.00
----------	--------

ADDITIONAL INFORMATION

Attached: Ordinance
FY 2023- 2024 Budget

STAFF CONTACT(S)

Krystal Crump
Finance Director
817-246-4971 ext 851
kcrump@wstx.us

Jeffrey James
City Manager
817-246-4971 ext 253
jjames@wstx.us

FUNDS Filter

EDC FUND

		2021-22	2022-23	2022-23	2023-24	2024-25
		Actual	Original Budget	Actual	Budget	Budget
Category	Account					
SALES AND USE TAXES		1,447,131	1,458,000	816,784	1,421,400	1,464,042
SALES AND USE TAXES	(04-400-02-005) .5% EDC SALES TAX	1,447,131	1,458,000	816,784	1,421,400	1,464,042
INTEREST INCOME		36,827	14,400	92,266	70,000	70,000
INTEREST INCOME	(04-400-60-601) INTEREST INCOME	36,827	14,400	92,266	70,000	70,000
OTHER REVENUE		380,039	0	35	0	0
OTHER REVENUE	(04-400-70-714) SALE OF PROPERTY	371,457	0	0	0	0
OTHER REVENUE	(04-400-70-701) MISCELLANEOUS REVENUE	8,582	0	35	0	0
Total		1,863,998	1,472,400	909,085	1,491,400	1,534,042

			2021-22	2022-23	2022-23	2023-24	2024-25
			Actual	Original Budget	Actual	Budget	Budget
Bucket	Category	Account					
	CONTRACTUAL SERVICES		74,343	122,900	57,521	121,070	123,202
ADMINISTRATIVE	CONTRACTUAL SERVICES	(04-540-20-245) ADMIN COST TO GENERAL FUND	74,065	72,900	55,332	71,070	73,202
CONSULTING	CONTRACTUAL SERVICES	(04-540-20-214) OTHER PROFESSIONAL SERVICES	278	50,000	2,188	50,000	50,000
	CAPITAL OUTLAY		0	0	273,255	300,000	0
ADMINISTRATIVE	CAPITAL OUTLAY	(04-540-40-401) LAND	0	0	273,255	300,000	0
	DEBT SERVICE		1,029,410	1,031,048	1,031,047	1,031,179	1,029,804
DEBT SERVICE	DEBT SERVICE	(04-541-60-621) PRINCIPAL - WATER PARK LOAN	550,000	580,000	580,000	610,000	640,000
DEBT SERVICE	DEBT SERVICE	(04-541-60-611) INTEREST - WATER PARK LOAN	479,410	451,048	451,047	421,179	389,804
	Total		1,103,753	1,153,948	1,361,823	1,452,249	1,153,006

**WHITE SETTLEMENT FINANCE DEPARTMENT
EXTERNAL CORRESPONDENCE MEMORANDUM
INFORMAL REPORT TO MAYOR AND COUNCIL**

TO: WHITE SETTLEMENT CITY COUNCIL

FROM: KRYSTAL CRUMP

REF: CALLING FOR A PUBLIC HEARING FOR PROPOSED BUDGET

DATE: AUGUST 8, 2023

ISSUE

Th White Settlement Finance Department is requesting City Council to approve the date and time for the public hearing for the FY 2023-2024 Budget on August 29, 2023 at 6:30 p.m.

DISCUSSION

A public hearing is required prior to approved the adopted budget on September 5, 2023 to allow for resident input.

The required notices of public hearing for Council meeting will be published.

ACTION

The finance department is requesting the City Council approve the public hearing date.

COSTS

EDC Fund	\$0.00
----------	--------

ADDITIONAL INFORMATION

Attached: None

STAFF CONTACT(S)

Krystal Crump
Finance Director
817-246-4971 ext 851
kcrump@wstx.us

Jeffrey James
City Manager
817-246-4971 ext 253
jjames@wstx.us

**WHITE SETTLEMENT FINANCE DEPARTMENT
EXTERNAL CORRESPONDENCE MEMORANDUM
INFORMAL REPORT TO MAYOR AND COUNCIL**

TO: WHITE SETTLEMENT CITY COUNCIL

FROM: KRYSTAL CRUMP

REF: CALLING FOR A PUBLIC HEARING FOR TAX RATE

DATE: AUGUST 8, 2023

ISSUE

Th White Settlement Finance Department is requesting City Council to approve the date and time for the public hearing for the FY 2023-2024 Tax Rate on August 29, 2023 at 6:30 p.m.

DISCUSSION

A public hearing is required prior to approved the adopted budget on September 5, 2023 to allow for resident input.

The required notices of public hearing for Council meeting will be published.

ACTION

The finance department is requesting the City Council approve the public hearing date.

COSTS

EDC Fund	\$0.00
----------	--------

ADDITIONAL INFORMATION

Attached: None

STAFF CONTACT(S)

Krystal Crump
Finance Director
817-246-4971 ext 851
kcrump@wstx.us

Jeffrey James
City Manager
817-246-4971 ext 253
jjames@wstx.us



To: City Council
From: Richard Tharp, Community Services Director
Date: August 1, 2023

Staff received a Buy-Board Quote from Digital Resources in the amount of \$252,812.59 for audio/visual system equipment and installation at Pecan Grove Convention Center.

Audio/visual system equipment and installation will be funded with appropriated ARPA funds and will not impact the General Fund.

The equipment will provide Pecan Grove Convention Center with security camera. Equipment will be installed in the three designated meeting spaces to provide sound amplification, video projection, and the ability to conduct and record in-person and/or virtual meetings as required by state statute.

The timeline for the project will be determined by equipment availability and delivery schedules with a projected two to three week installation timeline to begin early next year.

Staff recommends approval of the quote as presented.

Presented By:

Digital Resources Inc

2107 Greenbriar Drive
Suite B
Southlake, TX 76092 US
(817) 481-9300
www.digitalresources.com



Leading AV Design and Integration

HUB / Woman Owned Business ID: 49129

CONFERENCE CENTER

CITY OF WHITE SETTLEMENT

RICHARD THARP

RTharp@WSTX.US

214 Meadow Park Drive
White Settlement, Texas 76108 United States
817-205-8656

Sales Rep: Dave Bock

Valid For: 30 Days

Revision: 0

Date: 6/29/2023

Terms: Net 30

Scope of Work:

BUYBOARD

Contract Number: 644-21

Contract Expiration Date: 05/31/2022

Commodity: Audio Visual Equipment and Supplies

Conference Center Overview :

SECURITY CAMERAS

Unassigned

18	IC Realtime	\$214.62	\$3,863.16
	2MP IP Indoor/Outdoor Small Size Vandal Dome. Fixed 2.8mm Lens (110°). 100 Feet IR. POE Capable (Tinted Dome).		
1	IC Realtime	\$3,292.44	\$3,292.44
	32CH IP 2U RACKMOUNT NVR - 8HDD - IP RESOLUTION UP TO 12MP/30FPS (384MBPS) - 8TB		

CONFERENCE CENTER

1	IC Realtime	\$726.00	\$726.00
	24 PORT FULL GIGABIT POE SWITCH 370W MAX		

Unassigned Total	\$7,881.60
-------------------------	-------------------

SECURITY CAMERAS Total	\$7,881.60
-------------------------------	-------------------

SMALL CONFERENCE ROOM: MONITOR

Unassigned

1	Sony Professional	\$4,012.94	\$4,012.94
	85" 3840x2160 4K LED Bravia Display		

Unassigned Total	\$4,012.94
-------------------------	-------------------

SMALL CONFERENCE ROOM: MONITOR Total	\$4,012.94
---	-------------------

CONFERERENCE ROOM W/ INCLOSERS (EC3): PROJECTOR

Unassigned

1	CHIEF	\$307.94	\$307.94
	I-BEAM CLAMP		
1	CHIEF	\$166.85	\$166.85
	ADJ. PIPE 36" TO 60		
1	CHIEF	\$480.00	\$480.00
	VCMU INCL CUSTOM HBU BLK		
1	Panasonic	\$12,701.22	\$12,701.22
	8000-Lumen WUXGA Laser DLP Projector (Black, with 1.71 to 2.41:1 Lens)		

Unassigned Total	\$13,656.01
-------------------------	--------------------

CONFERERENCE ROOM W/ INCLOSERS (EC3): PROJECTOR Total	\$13,656.01
---	--------------------

CONFERERENCE ROOM W/ INCLOSERS (EC3): ELECTRIC SCREEN

Unassigned

CONFERENCE CENTER

1	Da-Lite COSMO TNSD 220D HD1.3 HDTV BLACK CASE 24" TOTAL BLACK DROP AT TOP	\$6,898.36	\$6,898.36
----------	--	------------	------------

Unassigned Total	\$6,898.36
-------------------------	-------------------

CONERENCE ROOM W/ INCLOSERS (EC3): ELECTRIC SCREEN Total	\$6,898.36
--	-------------------

RACK

Unassigned

3	DigitaLinx Wall Plate Single Decora HDMI & 3.5mm Audio over HDBaseT with matching box style receiver included	\$294.26	\$882.78
1	Middle Atlantic 25SP/32D Stand Alone AV Rack	\$1,190.29	\$1,190.29
1	Middle Atlantic SLIM PWR STRIP,8 OUTLET,1	\$118.75	\$118.75
1	Middle Atlantic Rack Fan Blower 1SP BL	\$403.75	\$403.75
1	Middle Atlantic UPS STD 2200VA	\$1,195.88	\$1,195.88
1	Netgear NETGEAR AV Line M4250-12M2XF 12x2.5G and 2xSFP+ Managed Switch	\$1,196.31	\$1,196.31
1	QSC AV over IP streaming boxes	\$3,424.66	\$3,424.66

Unassigned Total	\$8,412.42
-------------------------	-------------------

RACK Total	\$8,412.42
-------------------	-------------------

LARGE MEETING ROOM (EC1): SPEAKERS

Unassigned

4	QSC 12" High-power coaxial ceiling speaker baffle, 70/100V transformer with 16Ω bypass, 85° conical coverage. Fits AD-C1200BB back box enclosure or standard ~2.75 cubic foot enclosures.	\$750.68	\$3,002.72
22	QSC 8" High-power blind mount coaxial ceiling speaker, 70/100V transformer with 16Ω bypass, 90° conical DMT coverage. Includes AD-C800RG round grille in white, C-Ring and Tile Rails. Packaged seperately (total of three cartons).	\$667.12	\$14,676.64
10	QSC Integrated Sub/Sat pendant system with a 6.5" dual voice coil subwoofer and (4x) 2.75" satellites, 70/100V transformer with 6Ω bypass, includes cable and fastener for suspended installation. Color - Black.	\$714.71	\$7,147.10
1	QSC Dual 8" bandpass subwoofer, 70/100V transformer with 8Ω bypass, 120Hz bypassable low-pass filter, includes yoke and suspension hardware. Available in black.	\$823.53	\$823.53
1	QSC 11.6" Touch Panel with Table Top mounting accessory included	\$2,720.59	\$2,720.59
1	QSC 4x2 Channel 2 Gang US, Dante/AES67 Wall Plate w/Bluetooth, RCA, 3.5mm I/O, PoE (white and black faceplates included)	\$1,078.08	\$1,078.08
8	Shure 10" Shock-Mounted Gooseneck, Green/Red LED Ring at bottom, Less Preamplifier, Dual Flexible, Cardioid	\$258.82	\$2,070.56
8	Shure DESKTOP BASE TRANSCEIVER	\$669.12	\$5,352.96
1	Shure 8-CH ACCESS POINT TRANSCEIVER	\$3,922.06	\$3,922.06
2	Shure 8-CH NETWORKED CHARGING STATION	\$2,044.12	\$4,088.24

Unassigned Total

\$44,882.48

LARGE MEETING ROOM (EC1): SPEAKERS Total

\$44,882.48

LARGE MEETING ROOM (EC1): PTZ CAMERAS

Unassigned

CONFERENCE CENTER

2	Panasonic Full-HD Professional PTZ Camera with 3G-SDI - Black	\$3,994.94	\$7,989.88
1	Panasonic 3.5 QHD 960 x 540 color LCD Sub-compact Remote System Controller for up to 5 Panasonic Pan-Tilt Camera Systems via RS-422 serial connection over Cat5/6, AW-RP60GJ is capable of supporting up to 200 PTZ cameras in 20 groups, can manage up to 100 camera presets and comes with PoE support allowing for	\$2,578.48	\$2,578.48

Unassigned Total

\$10,568.36

LARGE MEETING ROOM (EC1): PTZ CAMERAS Total

\$10,568.36

LARGE MEETING ROOM (EC1): CLOSET (RACK)

Unassigned

3	AJA Video Systems Multi-Channel HD H.264 USB 3.0 Recorder and Player	\$4,437.33	\$13,311.99
3	DigitaLinx Wall Plate Single Decora HDMI & 3.5mm Audio over HDBaseT with matching box style receiver included	\$294.26	\$882.78
1	Middle Atlantic SLIM5 KNOCKDOWN 14SP,26D	\$442.87	\$442.87
1	Middle Atlantic 25SP/32D Stand Alone AV Rack	\$1,190.29	\$1,190.29
2	Middle Atlantic SLIM PWR STRIP,8 OUTLET,1	\$118.75	\$237.50
1	Middle Atlantic Rack Fan Blower 1SP BL	\$403.75	\$403.75
2	Middle Atlantic UPS STD 2200VA	\$1,195.88	\$2,391.76
1	Netgear NETGEAR AV Line M4250-12M2XF 12x2.5G and 2xSFP+ Managed Switch	\$1,196.31	\$1,196.31
1	QSC The Q-SYS™ Core 110f processor is the latest addition to the Q-SYS™ Core family providing a fully integrated audio, video and control solution for small, single-room projects up to the largest Enterprise scale deployments.	\$3,968.25	\$3,968.25

CONFERENCE CENTER

1	QSC 8kW Eight-channel Network Amplifier for the Q-SYS Ecosystem, 1500 W per channel with Network Input	\$6,690.48	\$6,690.48
1	QSC AV over IP streaming boxes	\$3,424.66	\$3,424.66
1	QSC 11.6" Touch Panel with Table Top mounting accessory included	\$2,936.51	\$2,936.51
1	QSC 4x2 Channel 2 Gang US, Dante/AES67 Wall Plate w/Bluetooth, RCA, 3.5mm I/O, PoE (white and black faceplates included)	\$1,078.08	\$1,078.08

Unassigned Total

\$38,155.23

LARGE MEETING ROOM (EC1): CLOSET (RACK) Total

\$38,155.23

FRONT HALL (EC2)

Unassigned

28	QSC Integrated Sub/Sat pendant system with a 6.5" dual voice coil subwoofer and (4x) 2.75" satellites, 70/100V transformer with 6Ω bypass, includes cable and fastener for suspended installation. Color - Black.	\$714.71	\$20,011.88
2	QSC Dual 8" bandpass subwoofer, 70/100V transformer with 8Ω bypass, 120Hz bypassable low-pass filter, includes yoke and suspension hardware. Available in black.	\$823.53	\$1,647.06
1	QSC The Q-SYS™ Core 110f processor is the latest addition to the Q- SYS™ Core family providing a fully integrated audio, video and control solution for small, single-room projects up to the largest Enterprise scale deployments.	\$3,968.25	\$3,968.25
1	QSC 8kW Eight-channel Network Amplifier for the Q-SYS Ecosystem, 1500 W per channel with Network Input	\$6,690.48	\$6,690.48
1	QSC Q-SYS channel expander	\$1,904.41	\$1,904.41
1	QSC NS Series 8 port network switch (coming soon)	\$1,080.88	\$1,080.88
1	QSC Scripting Engine Software License, Perpetual	\$397.06	\$397.06

CONFERENCE CENTER

1	QSC Q-SYS Core 110 UCI Deployment Software License, Perpetual	\$213.49	\$213.49
1	QSC 11.6" Touch Panel with Table Top mounting accessory included	\$2,720.59	\$2,720.59
1	QSC 4x2 Channel 2 Gang US, Dante/AES67 Wall Plate w/Bluetooth, RCA, 3.5mm I/O, PoE (white and black faceplates included)	\$1,157.35	\$1,157.35

Unassigned Total

\$39,791.45

FRONT HALL (EC2) Total

\$39,791.45

CART

Unassigned

1	Elmo PX-10E VISUAL PRESENTER	\$2,441.84	\$2,441.84
1	Middle Atlantic 9OUT,15A,RCKMNT POWER CEN	\$146.69	\$146.69
1	SPECTRUM Laminate: Wild Cherry 7054-60 T1 Edgeband: Wild Cherry 3MM Metal Finish: Black Lectern Style/OB Cutouts:: Surround Worksurface Rack Options: 2 Slide-in Rack Cubes Shelf: 1 Flip Up Shelf (Not Factory Install) Base: NONE Side Panel Option:: Matching Metal Side Panel Upper Storage Space Options	\$5,858.82	\$5,858.82
1	SPECTRUM	\$560.29	\$560.29
1	SPECTRUM Pull-Out Drawer MDLV2 Black	\$320.59	\$320.59
1	SPECTRUM	\$492.65	\$492.65
1	SPECTRUM	\$330.88	\$330.88

Unassigned Total

\$10,151.76

CART Total

\$10,151.76

SERVICES

CONFERENCE CENTER

Unassigned

1	DRI	\$17,425.94	\$17,425.94
	Cables Connectors and Hardware		
1	Engineering, Programming and Integration Services	\$2,067.50	\$49,988.06
	Engineering, Programming and Integration Services Required		

Unassigned Total **\$67,414.00**

SERVICES Total **\$67,414.00**

SHIPPING

Unassigned

1	DRI	\$987.98	\$987.98
	Shipping and Freight Charges		

Unassigned Total **\$987.98**

SHIPPING Total **\$987.98**

Project Subtotal: **\$252,812.59**

QUOTE SUMMARY

Equipment:	\$202,824.53
Labor:	\$49,988.06
Grand Total:	\$252,812.59

Work Delays:

This proposal for installation work has been estimated by working in a continuous manner, free from debris from other trades or delays preventing work during normal business hours. If DRI work under this proposal is interrupted by no fault of DRI, then a Minimum \$500 per incident rescheduling fee will apply. DRI will make every effort to accomodate where applicable.

Warranty:

Digital Resources certified system installation work carries a 1 year on-site workmanship guarantee. All new equipment provided will have a 1 year minimum manufacturer warranty. DRI will provide free telephone support and will have a 48 hour response on service requests. Warranty service will cover the repair or replacement of equipment that is equal to or equivalent loaner equipment where applicable. Any product defects and or failures will be subject to the specific manufacturer's warranty repair or replacement policy, which may or may not include the cost of on-site service labor. If the field engineer/technician determines that the defect is not relative to failed physical workmanship of the installation provided by DRI, standard service rates may be applied and billed accordingly. On-site labor to inspect, trouble shoot, remove and install faulty equipment is not included under the warranty and is subject to standard DRI service rates. All freight charges to return warranty repairs and/or returns will be billed accordingly.

Digital Resources strives to offer excellent service and support. Please consult with our company representative for information on additional service level agreement options.

Reference Quote # DRI-3834 Client PO#: _____ Print Name: _____ Title: _____

Client: RICHARD THARP Date

Customer Approval:
Please sign above as an authorized agent, approving the products and services proposed. By signing OR emailing your approval, you agree to Digital Resources standard terms and conditions, along with the conditions set forth as written in this proposal. Partial shipments will be shipped and invoiced unless noted otherwise. Taxes and shipping charges will be invoiced separately. Final scope of work and engineering may provide for a change in fees or services which you agree to upon approving this order.

*** Purchase will be taxable according to state / local tax laws for point of delivery. Unless information is completed below.*

NO _____ Tax ID # _____ (A Sales Tax Exempt Form Must Be On File)

Email To: orders@digitalresources.com Thank you for your business!